DORSET COUNCIL

Planning Permit Application

Please print all applicable details clearly.

THE PROPOSAL

Describe in full the way it is proposed to use and/or develop the land:	⇨ *Provide a full description of the proposed use or development, including:*
Building & Demolition Works - Proposed three visitor accommodation units, a bike storage unit and demolition of small existing buildings	• *Building work* • *Change of use* • *Subdivision* • *Forestry* • *Demolition* • *Staging (if development is proposed to be carried out in stages, indicate this on the plans and describe in written material)* • *Signage* • *Other*

THE LAND

Address:	Certificate of Title (*include all applicable title references*)
3 Hill Street, Derby 7264	Volume: 207961 Folio: 1
Land Area (m² or hectares): 0.2023ha	
Present use of land: Vacant	⇨ *Provide a description of the existing use of the land, for example vacant, residential, agriculture, industrial, commercial*
Present use of existing building(s): NA	⇨ *Provide a description of the use of the existing buildings on the land, for example dwelling, workshop, farm building, office, shop*

THE APPLICANT (Note: the person to be nominated as the Applicant is the one whose name will appear for public notification purposes and permit issue)

Applicant's Name: Laura Trimmer | Tasbuilt Homes	
Address: 6 Integrity Drive, Westbury 7303	Phone: 03 6393 1013 Fax: Mobile:
Email: laurat@tasbuilthomes.com.au	

THE OWNER

Owner's name(s): Christopher Cafe	
Address: 22 Cavalier Parade, Bomaderry NSW 2541	Phone: Fax: Mobile: 0458 008 776
Email: chris@yintec.net.au	

CROWN AND/OR COUNCIL CONSENT [to be completed where land in respect of the Application is (i) Crown land (within the meaning of the *Crown Lands Act 1976*) or (ii) owned or administered by the Crown or a Council]

Owner / Administrator's name(s):	
Person signing the Application:	⇨ *to be completed by a person conferred the authority to ensure compliance with Section 52(1B)(a) of the Land Use Planning and Approvals Act 1993).*
Signature: / Date:	

DETAILS OF BUILDING WORK (to be completed if Application requires building work)

Value of building work: $ 808,319.00	⇨ *Please tick applicable box:* Estimate: ☐ Contract Price: ☒
Type of work: Building & Demolition	⇨ *For example, new building, alteration, addition, removal, repairs, demolition, re-erection, change of use*
Proposed use of building: Visitor accommodation & bike storage	⇨ *Describe the main use of the proposed building, for example, dwelling, workshop, farm building, office, shop*

Existing floor area: NA m²	New / additional floor area: 409.43 m²	New building height: Max Height = 6.635 m

Materials:

structural floor: Steel Chassis

external walls: Colourbond colour: Night Sky

roof cladding: Colourbond colour: Monument

structural frame: Timber

DETAILS OF OTHER WORKS

Vehicle Access:

Is a new vehicle access or crossover required? (if so, ensure this is indicated on the plans) NA

What would be the surfacing of the vehicle access? _____

Car Parking:

How many car parking spaces are currently provided? 4

How many additional car parking spaces would be provided? 0

What would be the surfacing of the car parking spaces? Gravel

Is provision made for loading and unloading of vehicles? (to be completed for retail, commercial, industrial, service industry or storage uses)

_____

Describe any proposed earthworks, vegetation removal or other works required as part of the use and/or development:

Cut as shown on the plans for Unit 1

DETAILS OF OTHER MATTERS

Proposed hours of operation:

Monday to Friday: _____ a m to _____ p m

Saturday: _____ a m to _____ p m

Sunday: _____ a m to _____ p m

Provide details of any goods that would be stored outside:

_____

Privacy Statement

The Dorset Council is committed to upholding the right to privacy of all individuals who have dealings with the Council. Unless required by law or by a Court or tribunal, the Council will take the necessary steps to ensure that the personal information that members of the public share with the Council remains confidential. How we use this information is explained in our Personal Information Protection Policy which is available at www.dorst.tas.gov.au or at the Council office.

Appointment Details

To ensure Council's officers are available to assist you with the submission of your Application, it is advisable to make an appointment by contacting Regulatory Services on 6352 6500.

Appointment: Date: Time: Council officer:

Copyright Authority

I authorise the Council and the Crown in right of the state of Tasmania to provide to any person, for the purposes of assessment or public consultation, a partial or complete copy of documents relating to this application.

I understand that the information and materials provided with this Application may be made available to the public in electronic form on the Council's website. I understand that the Council may make such copies of the information and materials as, in its opinion, are necessary to facilitate a thorough consideration of the Application.

I declare that the information given is a true and accurate representation of the proposed use and/or development, and I am liable for the payment of Council application processing fees even in the event of the use and/or development proposed by this Application not proceeding.

I confirm I am the copyright owner or have the authority to sign on behalf of any other person with copyright for documents relating to this Application.

I indemnify the Dorset Council for any claim or action taken against it in respect of breach of copyright in respect of any of the information or material provided.

Note: This authority is intended to cover copies made by the Crown or Council under Sections 40, 43, 49 or 183 of the *Copyright Act 1968.*

Where the applicant is NOT the owner, I hereby declare that the owner of the land to which this application relates has been notified of this application being made and the information and details supplied by me in this application are a true and accurate description of the proposal.

Applicant's Signature: 

Date: 24.1.19

dorset

Our Ref: 2019/28 46904 6819527

15 April 2019

Ms L Trimmer
PO Box 274
DELORAINE TAS 7250

Dear Madam

Extension of Time Request (PLA/2019/28)
Visitor Accommodation (3 Units)
3 Hill Street Derby

It is acknowledged that additional time is going to be required to ensure Council can undertake satisfactory assessment of your application for the above.

As such, Council must request an extension of time in accord with Section 57(6A) of the *Land Use Planning and Approvals Act 1993*. To this end, Council would request an extension of time to **Tuesday, 21 May 2019**.

Please confirm your agreement to this request for an extended period of time by signing the applicable section below.

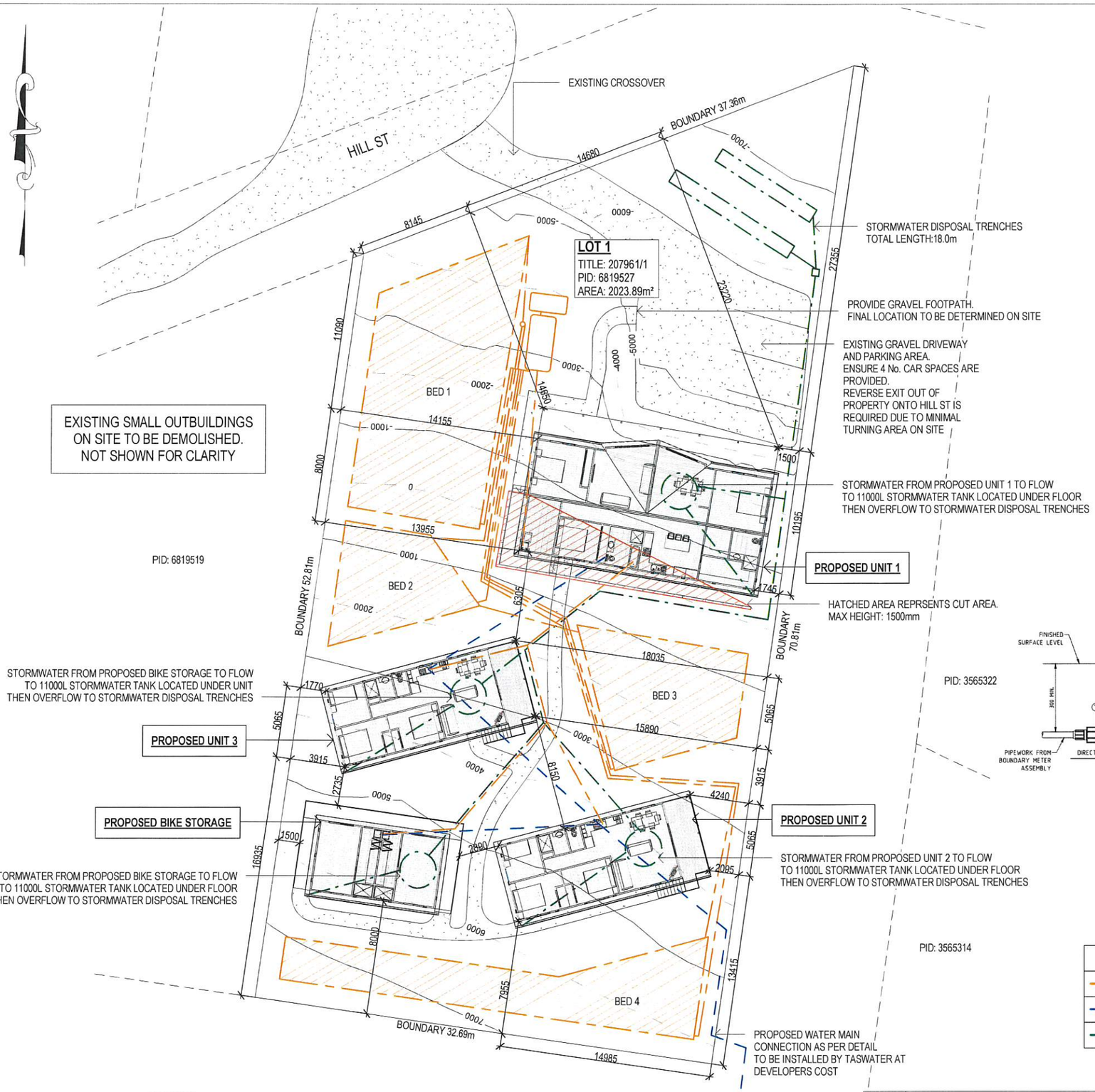
Yours faithfully

ROHAN WILLIS
Director, Community and Development

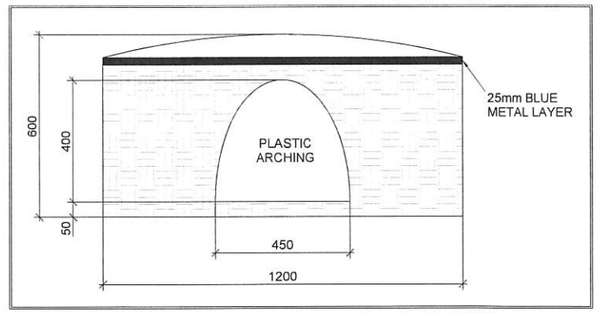
I, Laura Trimmer *, confirm that I agree to this request by Dorset Council for an extension of time to the planning assessment timeframe of the abovementioned planning application.*

Signature: _____

Name: Laura Trimmer

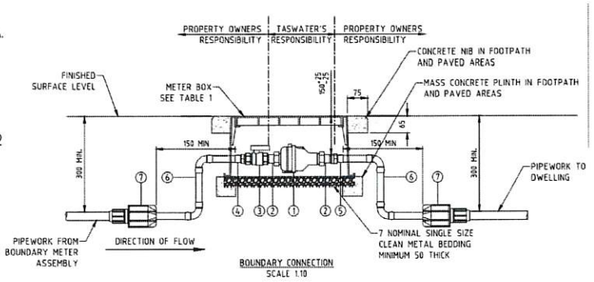


SITE PLAN
SCALE 1 : 300



TYPICAL STORMWATER DISPOSAL TRENCH
SCALE 1 : 500

BOUNDARY CONNECTION PARTS LIST		
ITEM	DESCRIPTION	COMMENTS
1	ELSTER V100 PSM-T DCV WATER METER WITH CORONIS 433 mHz MIU	SUPPLIED BY TASWATER
2	BRASS NUT AND TAIL	SUPPLIED BY TASWATER
3	QUATER TURN RESILIENT SEATED DRZ LOCKABLE BRASS BALL VALVE WITH BRASS HANDLE	
4	VIEGA PROPRESS WATER MALE LINE ADAPTOR	OR APPROVED EQUIVALENT
5	VIEGA PROPRESS WATER FEMALE LINE ADAPTOR	OR APPROVED EQUIVALENT
6	TYPE 'A' OR 'B' COPPER PIPEWORK	
7	UNIVERSAL ADAPTOR	



FOOT PATH & PAVED AREAS (CLASS 'B' TO AS/NZS 3996 - LIGHT DUTY)	ALUMINIUM ALLOY METER BOX WITH ALLOY NON-SLIP LID (BENNET & KINGSTON BOX & LID OR SIMILAR APPROVED)

NOTE:
NEW WATER CONNECTION AS
PER DETAILTO BE INSTALLED BY
TAS WATER AT DEVELOPERS COST
REFER TASWATER STANDARD
DRAWINGS TW-SD-W-20 SH8 FOR FULL DETAILS

PID: 3565322

PID: 3565314

LEGEND	
	SEWER
	WATER
	STORMWATER

DRAINAGE
ALL DRAINAGE WORK SHOWN IS PROVISIONAL ONLY AND IS SUBJECT TO AMENDMENT TO COMPLY WITH THE REQUIREMENTS OF THE LOCAL AUTHORITIES. ALL WORK IS TO COMPLY WITH THE REQUIREMENTS OF NATIONAL PLUMBING AND DRAINAGE CODE AS3500 AND MUST BE CARRIED OUT BY A LICENCED TRADESMAN ONLY.

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ENGINEERING PLUS
BUILDING DESIGN
PROJECT MANAGEMENT
CIVIL/STRUCTURAL ENGINEERING

ISSUED FOR APPROVAL

Rev:	Amendment:	Date:	Int:
A	ISSUED FOR APPROVAL	21/11/18	C.P.

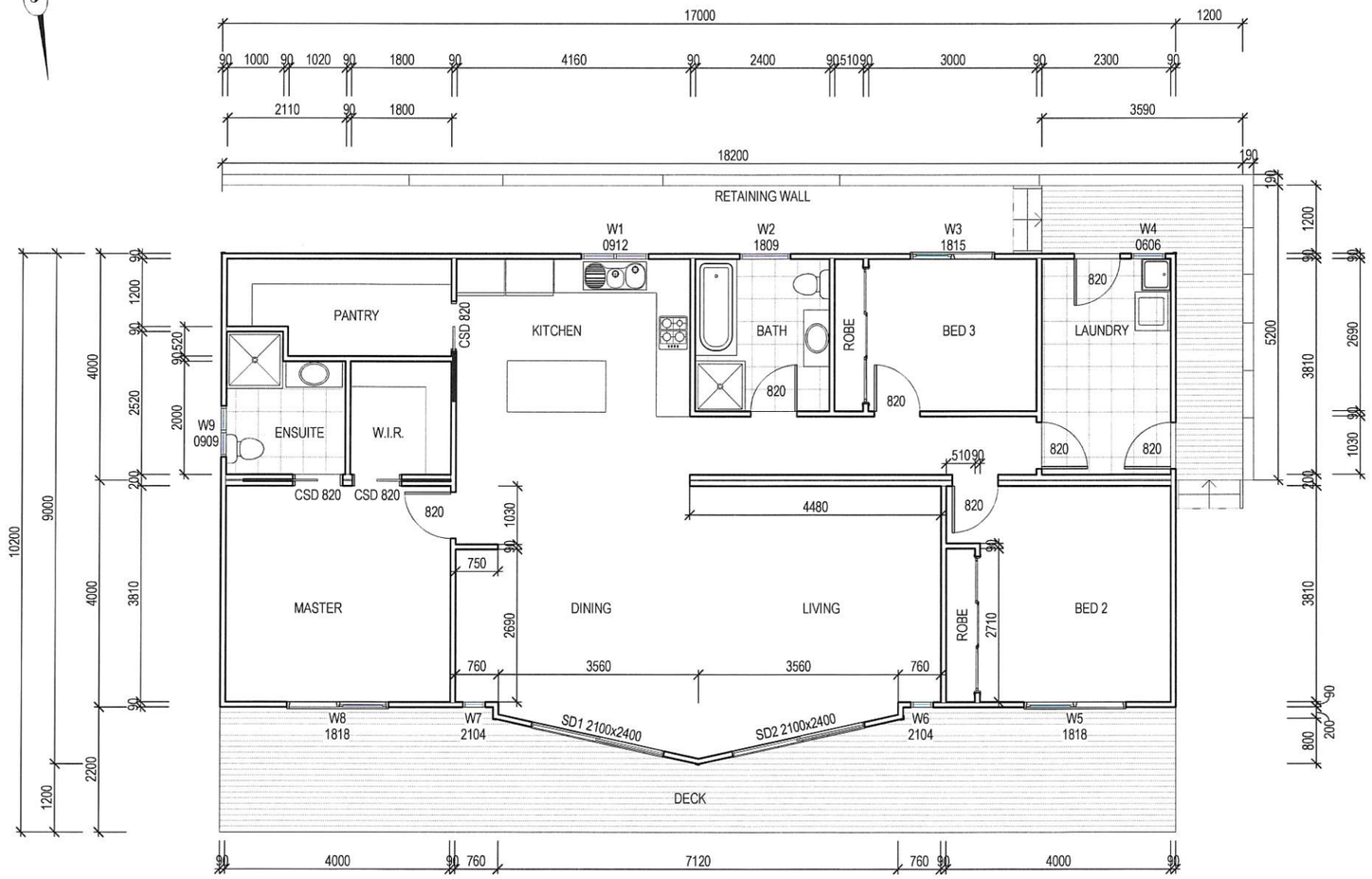
Date Drawn: 21/11/18
Drawn: C. Parry
Checked: A. Taylor
Approved: J. Pfeiffer
Scale: As Shown @ A3

Client: C. CAFE
Project: PROPOSED VISITOR ACCOMMODATION
Address: 3 HILL ST, DERBY

Mob 0417 362 783 or 0417 545 813
jack@engineeringplus.com.au
trin@engineeringplus.com.au

Accredited Building Designer
Designer Name: J.Pfeiffer
Accreditation No: CC2211T

Drawing No: 1452018 A02 Rev A

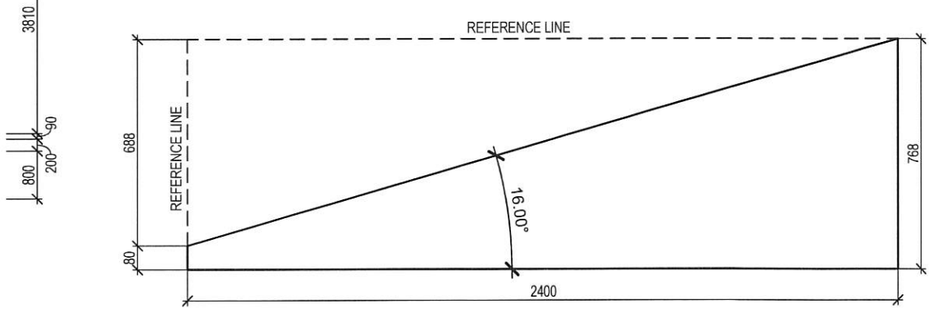


CONSTRUCTION PLAN
SCALE 1 : 100

WINDOW SCHEDULE

MARK	HEIGHT	WIDTH	TYPE	U-VALUE	SHGC
W1	900	1200	DG	4.3	.55
W2	1800	900	DG	4.3	.55
W3	1800	1500	DG	4.3	.55
W4	600	600	DG	4.3	.55
W5	1800	1800	DG	4.3	.55
W6	2100	400	DG	4.3	.55
W7	2100	400	DG	4.3	.55
W8	1800	1800	DG	4.3	.55
W9	900	900	DG	4.3	.55
*W10	REFER DETAIL				
*W11	REFER DETAIL OPP. HAND				
SD1	2100	2400	DG	4.0	.61
SD2	2100	2400	DG	4.0	.61

*REFER ELEVATIONS FOR HIGHLIGHT WINDOWS



W10 DETAIL
SCALE 1 : 20

Area Schedule (Gross Building)		
Name	Area	Area (sq)
UNIT 1	140.38 m²	15.11
UNIT 1 DECK	33.02 m²	3.55
UNIT 1 REAR LANDING	9.11 m²	0.98
	182.51 m²	19.65

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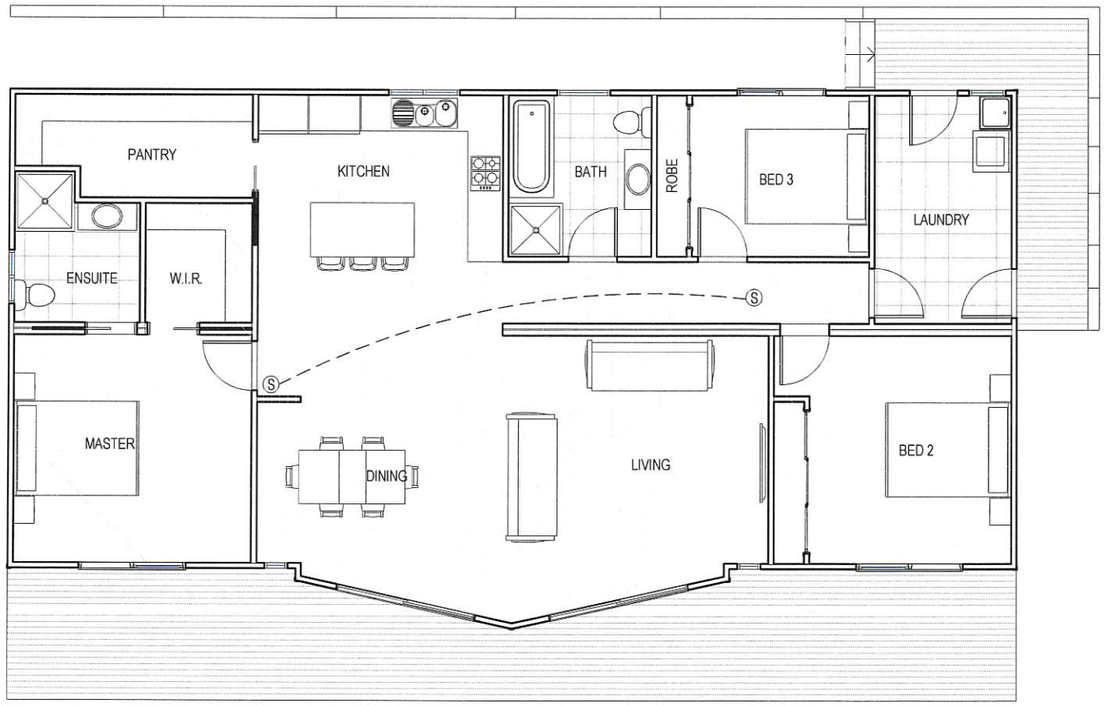
trin@engineeringplus.com.au
ENGINEERING PLUS BUILDING DESIGN PROJECT MANAGEMENT CIVIL/STRUCTURAL ENGINEERING

Accredited Building Designer
Designer Name: J.Pfeiffer
Accreditation No: CC2211T

Drawing No: 1452018 A03 Rev A



FLOOR PLAN
SCALE 1 : 100

FLOOR COVERINGS
CARPET
CONCRETE
TIMBER DECKING
TILE
FLOATING TIMBER FLOOR

SMOKE ALARMS
PROVIDE AND INSTALL SMOKE ALARMS & HARD WIRE TO BUILDING POWER SUPPLY TO AS 3786.
CEILING MOUNTED WITH 9VDC ALKALINE BATTERY BACKUP
TO LOCATIONS INDICATED ON PLAN AND IN ACCORDANCE WITH NCC PART 3.7.2

Ⓢ - DENOTES INTERCONNECTED SMOKE DETECTORS

Area Schedule (Gross Building)		
Name	Area	Area (sq)
UNIT 1	140.38 m²	15.11
UNIT 1 DECK	33.02 m²	3.55
UNIT 1 REAR LANDING	9.11 m²	0.98
	182.51 m²	19.65

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Designer Name: J.Pfeiffer
Accreditation No: CC2211T

Drawing No: 1452018 A04 Rev A

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SUB FLOOR VENTILATION. BCA VOLUME 2 PART 3.4.1.

- A MINIMUM OF 150 MM OF SUB FLOOR CLEARANCE IS TO BE PROVIDED BETWEEN FINISHED SURFACE LEVEL & THE UNDERSIDE OF THE FLOOR BEARER.
- A MINIMUM OF 6000 MM2 PER METRE OF SUB FLOOR VENTILATION IS TO BE UNIFORMLY DISTRIBUTED AROUND THE EXTERNAL AND INTERNAL WALLS OF THE BUILDING.
- VENTS TO BE LOCATED NO GREATER THAN 600 MM FROM AN INTERNAL OR EXTERNAL CORNER.

PRYDA 230X75 - 52 HOLE VENT MAXIMUM SPACING 1050 MM ALONG WALL OR
PRYDA 230X165 - 117 HOLE VENT MAXIMUM SPACING 2350 MM ALONG WALL

ADDITIONAL VENTILATION PROVISIONS TO BE INSTALLED WHERE OBSTRUCTIONS SUCH AS CONCRETE VERANDAH'S, DECKS, PATIOS AND PAVING ARE INSTALLED & OBSTRUCT VENTILATION.

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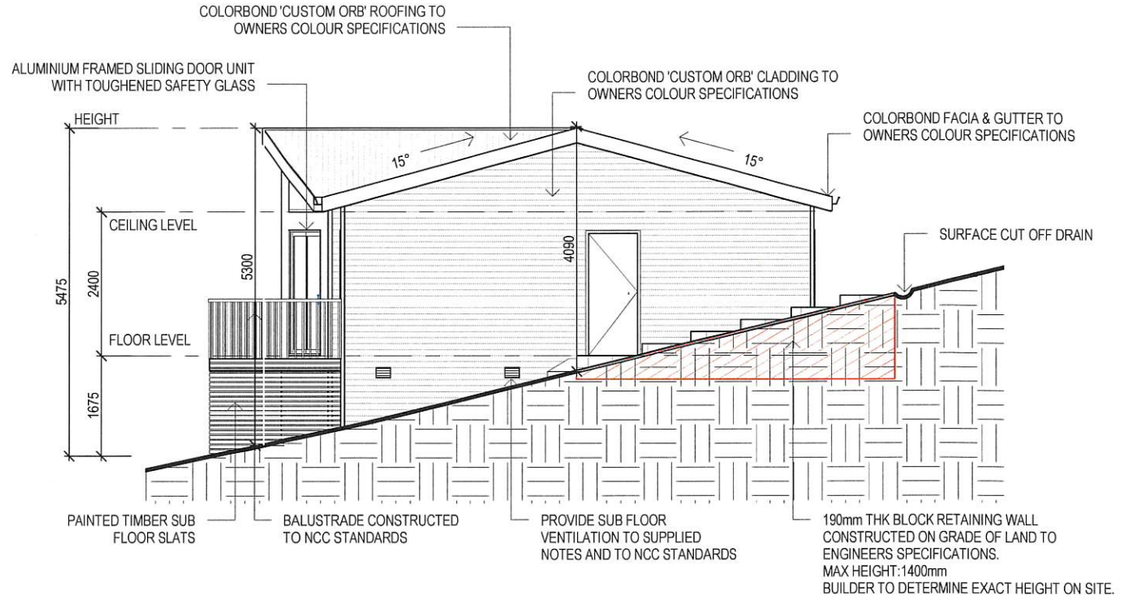
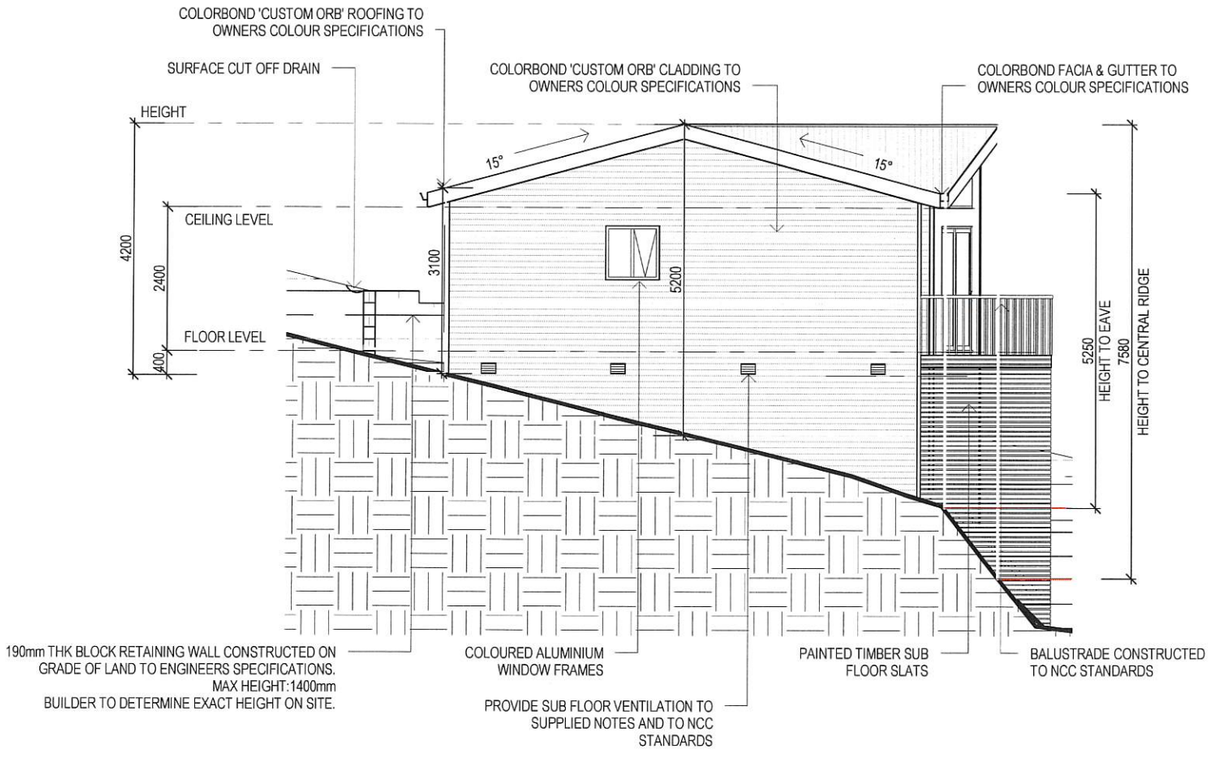


WEST ELEVATION
SCALE 1 : 100



EAST ELEVATION
SCALE 1 : 100

STAIR CONSTRUCTION. BCA VOLUME 2 PART 3.9

- TREADS: 250 MM
- RISERS: 180 MM
- TREATED PINE TIMBER STAIR MATERIAL TO AS1684
- TREATMENT LEVELS H4 FOR INGROUND USE & H3 FOR ABOVE GROUND USE.
- ALL FIXINGS FITTING BRACKETS AND CONNECTORS TO BE GALVANISED.
- STRINGER: 300X50 F5 TREATED PINE
- TREADS: 250X45 F5 TREATED PINE MAXIMUM TREAD SPAN 1000

ISSUED FOR APPROVAL

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Designer Name: J.Pfeiffer
Accreditation No: CC2211T

Client: C. CAFE
Project: PROPOSED VISITOR ACCOMMODATION
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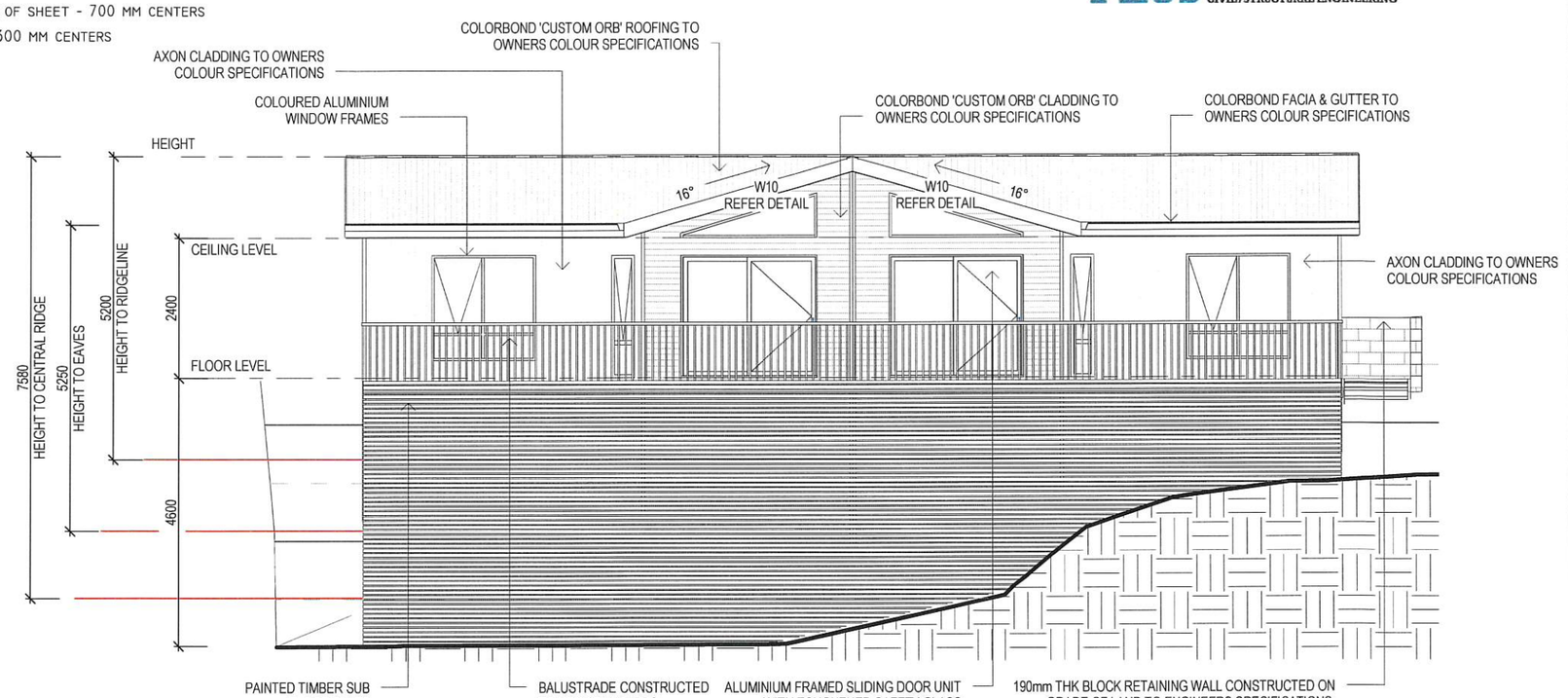
Drawing No: 1452018 A06 Rev A

EAVE & SOFFIT CONSTRUCTION BCA VOLUME 2 PART 3.5.3.5

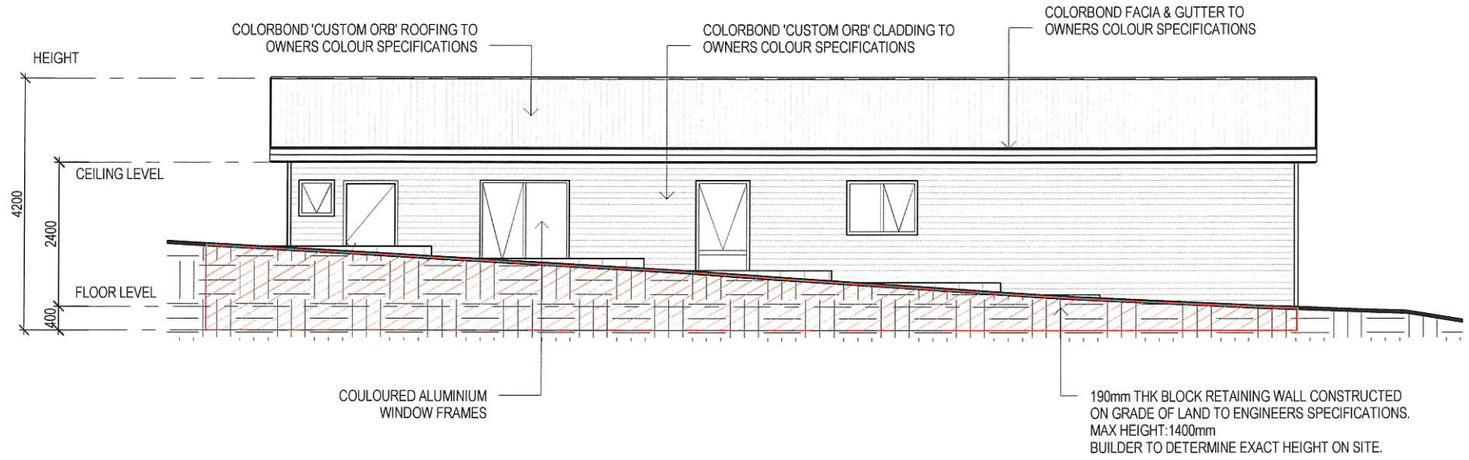
EAVE WIDTH - 300MM DESIGN WIND SPEED N3

SOFFIT / EAVE LINED WITH 'HARDIFLEX' CEMENT SHEETING

- TRIMMERS LOCATED WITHIN 1200 MM OF EXTERNAL CORNERS TO BE SPACED @ 500 MM CENTERS, REMAINDER OF SHEET - 700 MM CENTERS
- FASTENER / FIXINGS WITHIN 1200 MM OF EXTERNAL CORNERS @ 200 MM CENTERS, REMAINDER OF SHEET - 300 MM CENTERS



NORTH ELEVATION
SCALE 1 : 100



SOUTH ELEVATION
SCALE 1 : 100

SELECTED ALUMINIUM FRAMED WINDOWS - BCA VOLUME 2 PART 3.6

POWDER COATED ALUMINIUM WINDOW & DOOR FRAMES, UNLESS OTHERWISE NOTED.

TASMANIAN OAK REVEALS AND TRIMS. ALL FLASHING AND FIXINGS TO MANUFACTURERS SPECIFICATIONS.

GLAZING & FRAME CONSTRUCTION TO AS 2047 & AS 1288

ALL FIXINGS AND FLASHINGS TO MANUFACTURERS REQUIREMENTS

- WIND CLASSIFICATION AS4055 WIND DESIGN: N3 41M/S
- TERRAIN CATEGORY: T2 (NO SHIELDING)
- SERVICEABILITY DESIGN & WIND PRESSURE: 1000
- WATER RESISTANCE: 150

ISSUED FOR APPROVAL

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ENGINEERING PLUS BUILDING DESIGN PROJECT MANAGEMENT CIVIL/STRUCTURAL ENGINEERING

Accredited Building Designer
Designer Name: J.Pfeiffer
Accreditation No: CC2211T

Drawing No: 1452018 A07 Rev A

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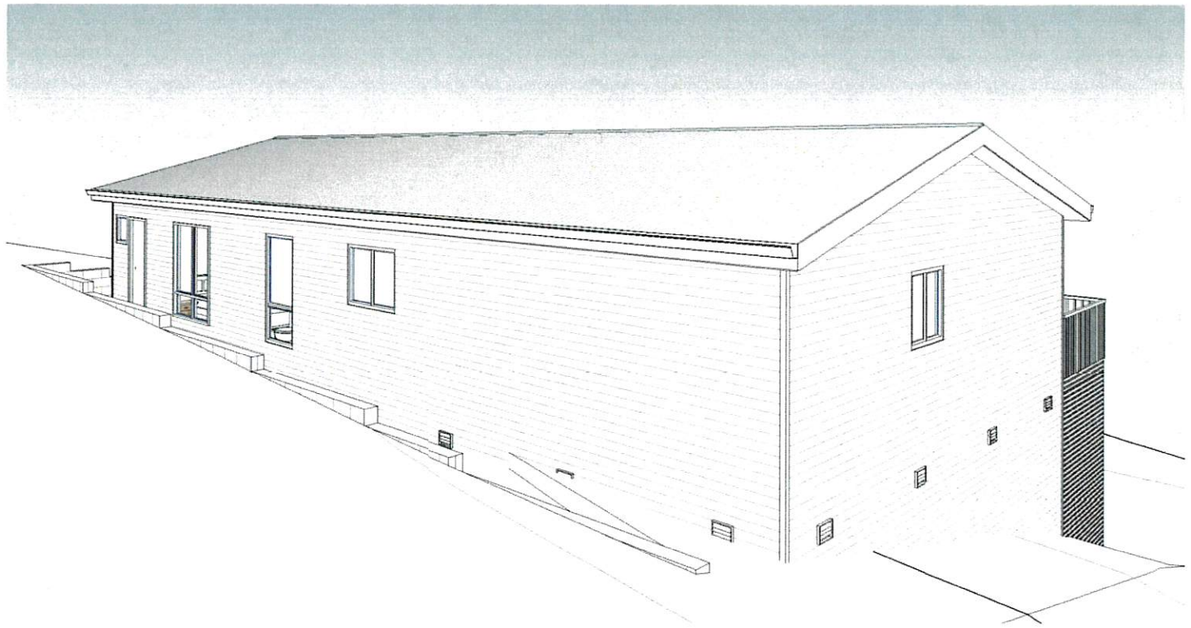

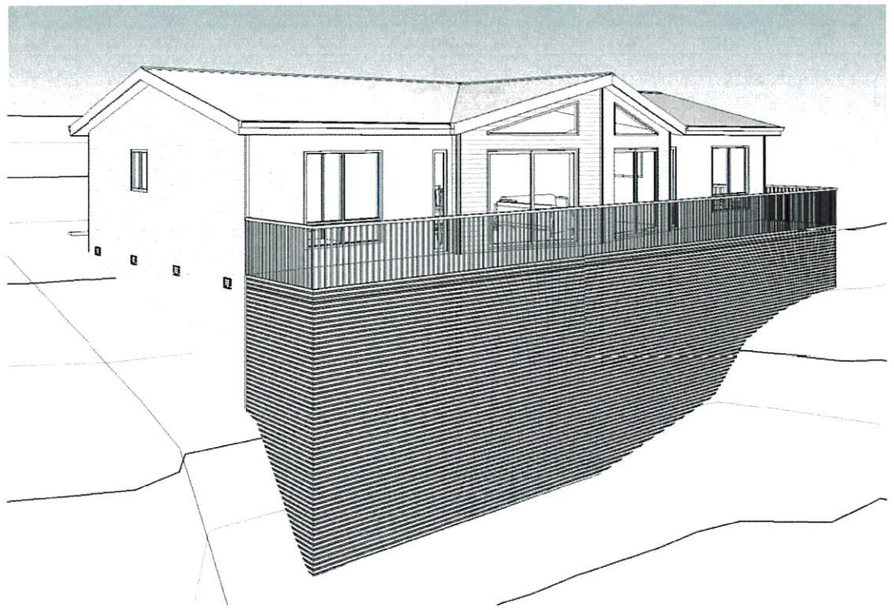

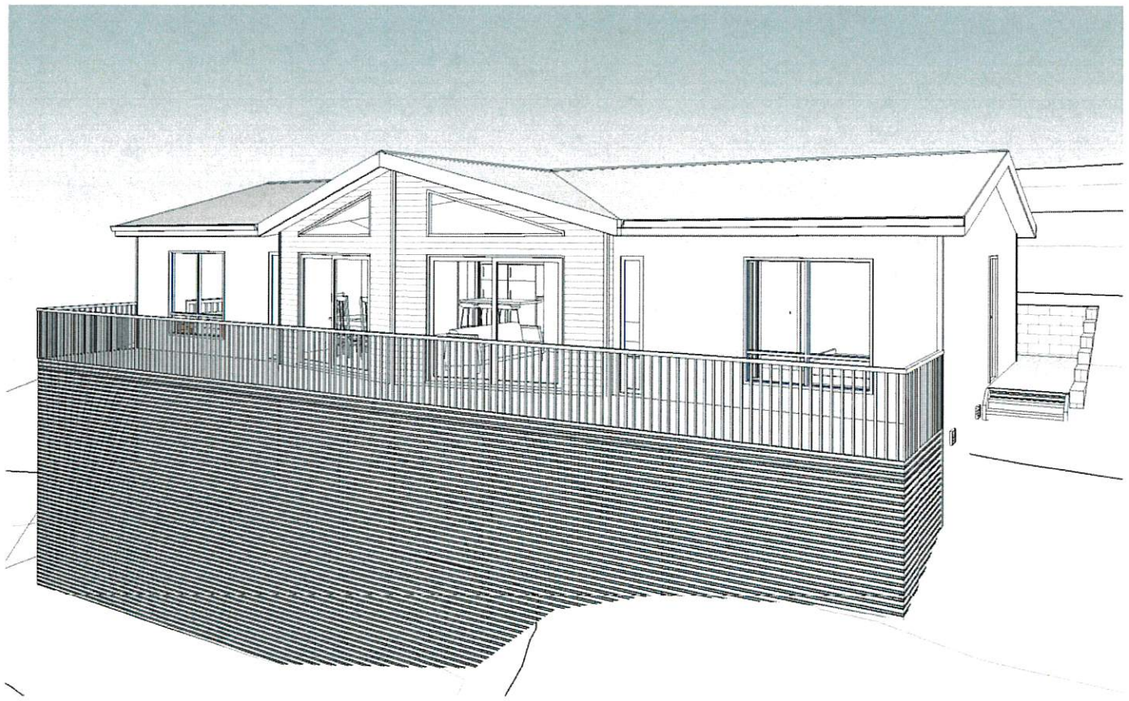

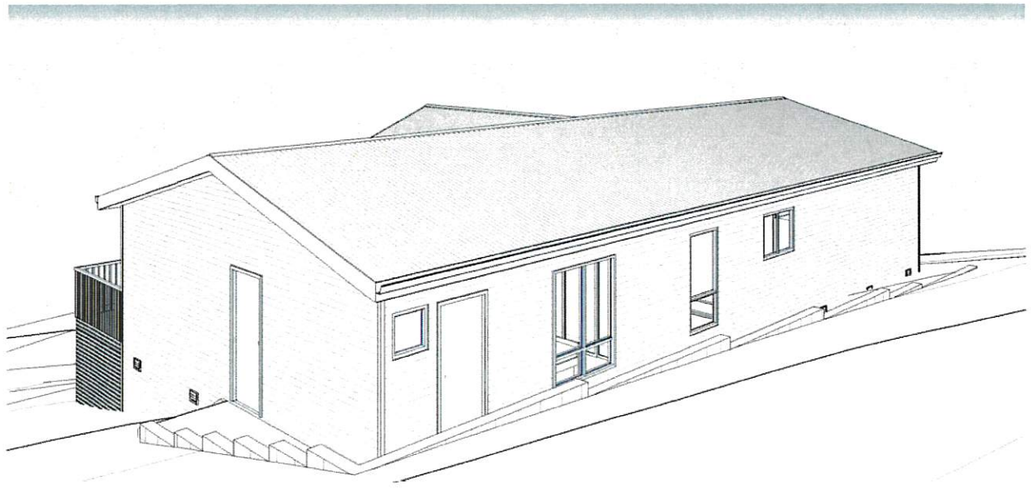

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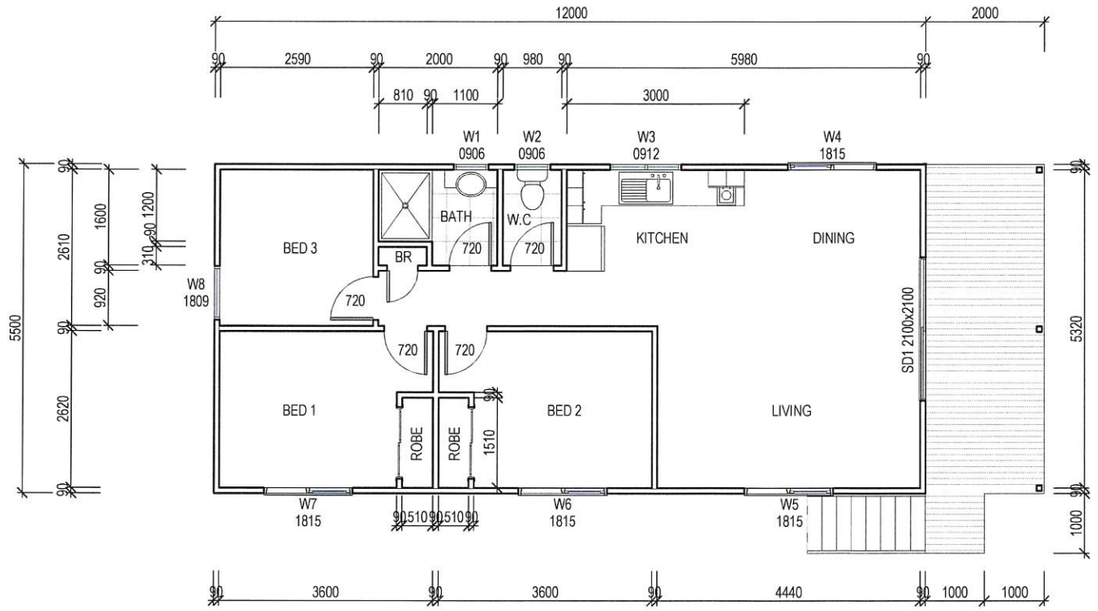
Accredited Building Designer
Designer Name: J.Pfeiffer
Accreditation No: CC2211T

Drawing No: 1452018 A11 Rev A



CONSTRUCTION PLAN
SCALE 1 : 100

WINDOW SCHEDULE

MARK	HEIGHT	WIDTH	TYPE	U-VALUE	SHGC
W1	900	600	DG	4.3	.55
W2	900	600	DG	4.3	.55
W3	900	1200	DG	4.3	.55
W4	1800	1500	DG	4.3	.55
W5	1800	1500	DG	4.3	.55
W6	1800	1500	DG	4.3	.55
W7	1800	1500	DG	4.3	.55
W8	1800	900	DG	4.3	.55
SD1	2100	2100	DG	4.0	.61

*W4, W5, W6 - IF FALL HEIGHT TO GROUND IS GREATER THAN 2.0m WINDOW TO HAVE A PERMANENTLY FIXED ROBUST SCREEN INSTALLED

Area Schedule (Gross Building)		
Name	Area	Area (sq)
UNIT 2	66.00 m²	7.10
UNIT 2 DECK	12.00 m²	1.29
	78.00 m²	8.40

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Client: CHRIS CAFE
Project: PROPOSED VISITOR ACCOMMODATION
Address: 3 HILL ST, DERBY

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ENGINEERING PLUS BUILDING DESIGN PROJECT MANAGEMENT CIVIL/STRUCTURAL ENGINEERING

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Designer Name: J.Pfeiffer
Accreditation No: CC2211T

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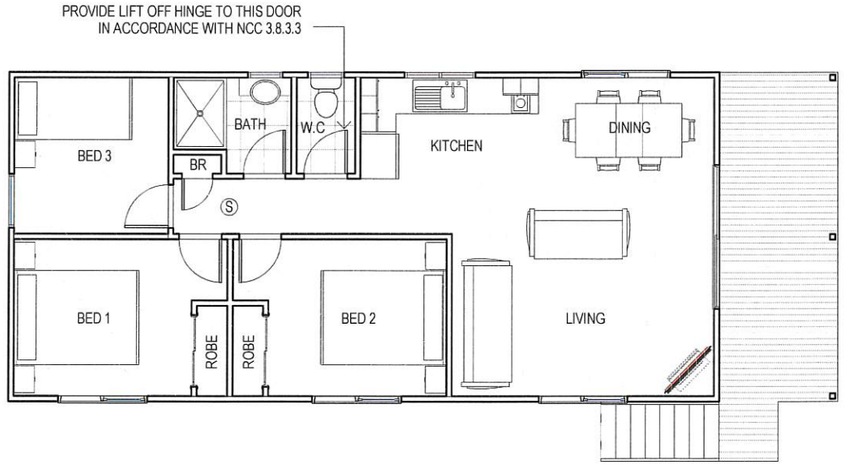
PROJECT MANAGEMENT
CIVIL/STRUCTURAL ENGINEERING



FLOOR PLAN
SCALE 1 : 100

FLOOR COVERINGS
CARPET
CONCRETE
TIMBER DECKING
TILE
FLOATING TIMBER FLOOR

SMOKE ALARMS
PROVIDE AND INSTALL SMOKE ALARMS & HARD WIRE
TO BUILDING POWER SUPPLY TO AS 3786.
CEILING MOUNTED WITH 9VDC
ALKALINE BATTERY BACKUP
TO LOCATIONS INDICATED ON PLAN AND IN ACCORDANCE
WITH NCC PART 3.7.2

Ⓢ - DENOTES INTERCONNECTED SMOKE DETECTORS

Area Schedule (Gross Building)		
Name	Area	Area (sq)
UNIT 2	66.00 m²	7.10
UNIT 2 DECK	12.00 m²	1.29
	78.00 m²	8.40

ISSUED FOR APPROVAL

tasbuilthomes
Your Complete Building Solutions
Tasbuilt Manufactured Homes & Cabins
P.O Box 274, Deloraine Tasmania 7304
Ph: 03 6393 1013
admin@tasbuilthomes.com.au

Rev:	Amendment:	Date:	Int:
A	ISSUED FOR APPROVAL	21/11/18	C.P.

Date Drawn: 21/11/18
Drawn: C. Parry
Checked: A. Taylor
Approved: J. Pfeiffer
Scale: As Shown @ A3

Client: CHRIS CAFE
Project: PROPOSED VISITOR ACCOMMODATION
Address: 3 HILL ST, DERBY

Mob 0417 362 783 or 0417 545 813
jack@engineeringplus.com.au
trin@engineeringplus.com.au
ENGINEERING PLUS BUILDING DESIGN PROJECT MANAGEMENT CIVIL/STRUCTURAL ENGINEERING

Accredited Building Designer
Designer Name: J.Pfeiffer
Accreditation No: CC2211T

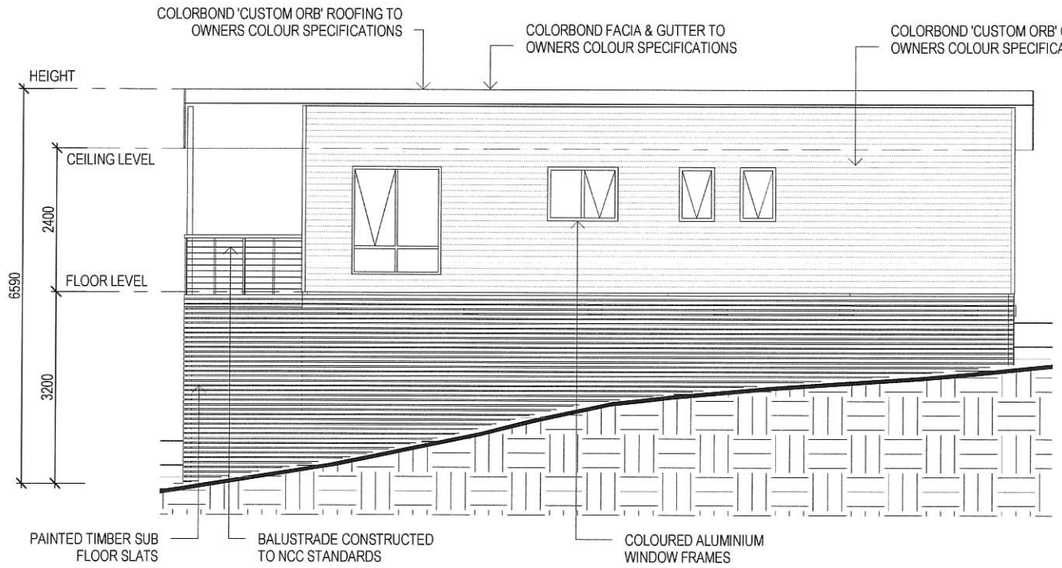
Drawing No: 1452018 A14
Rev A

SUB FLOOR VENTILATION. BCA VOLUME 2 PART 3.4.1.

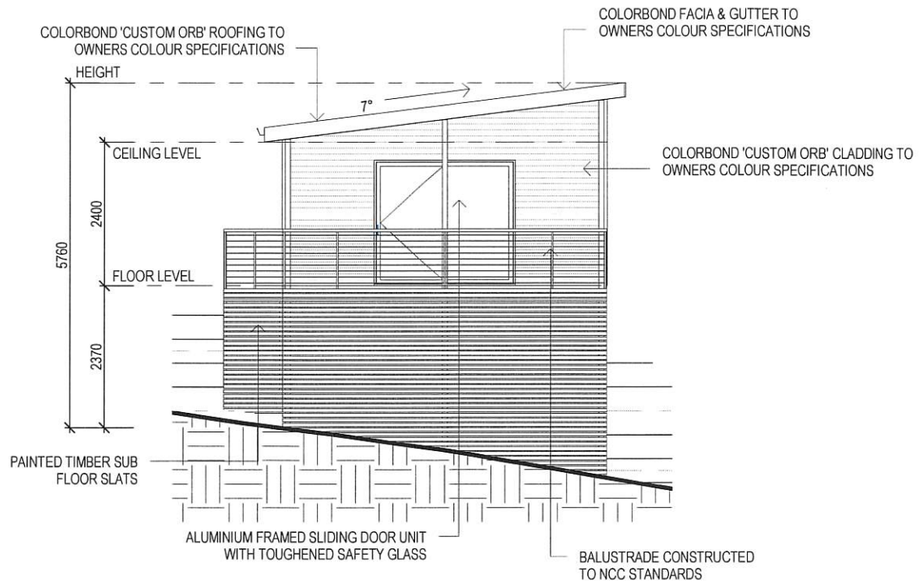
- A MINIMUM OF 150 MM OF SUB FLOOR CLEARANCE IS TO BE PROVIDED BETWEEN FINISHED SURFACE LEVEL & THE UNDERSIDE OF THE FLOOR BEARER.
- A MINIMUM OF 6000 MM2 PER METRE OF SUB FLOOR VENTILATION IS TO BE UNIFORMLY DISTRIBUTED AROUND THE EXTERNAL AND INTERNAL WALLS OF THE BUILDING.
- VENTS TO BE LOCATED NO GREATER THAN 600 MM FROM AN INTERNAL OR EXTERNAL CORNER.

PRYDA 230x75 - 52 HOLE VENT MAXIMUM SPACING 1050 MM ALONG WALL OR
PRYDA 230x165 - 117 HOLE VENT MAXIMUM SPACING 2350 MM ALONG WALL

ADDITIONAL VENTILATION PROVISIONS TO BE INSTALLED WHERE OBSTRUCTIONS SUCH AS CONCRETE VERANDAH'S, DECKS, PATIOS AND PAVING ARE INSTALLED & OBSTRUCT VENTILATION.



NORTH WEST ELEVATION
SCALE 1 : 100



NORTH EAST ELEVATION
SCALE 1 : 100

STAIR CONSTRUCTION. BCA VOLUME 2 PART 3.9

- TREADS: 250 MM
- RISERS: 180 MM
- TREATED PINE TIMBER STAIR MATERIAL TO AS1684
- TREATMENT LEVELS H4 FOR INGROUND USE & H3 FOR ABOVE GROUND USE.
- ALL FIXINGS FITTING BRACKETS AND CONNECTORS TO BE GALVANISED.
- STRINGER: 300x50 F5 TREATED PINE
- TREADS: 250x45 F5 TREATED PINE MAXIMUM TREAD SPAN 1000

ISSUED FOR APPROVAL

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ENGINEERING PLUS BUILDING DESIGN PROJECT MANAGEMENT CIVIL/STRUCTURAL ENGINEERING

Accredited Building Designer
Designer Name: J.Pfeiffer
Accreditation No: CC2211T

Drawing No: 1452018 A16 Rev A

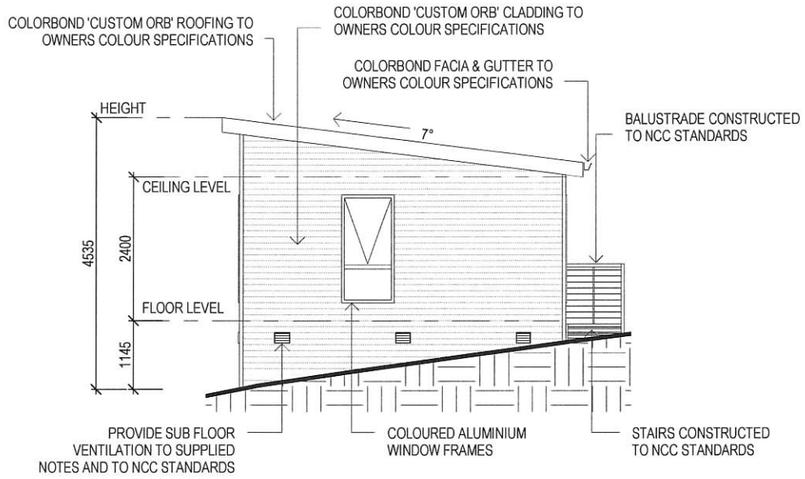
EAVE & SOFFIT CONSTRUCTION BCA VOLUME 2 PART 3.5.3.5

EAVE WIDTH - 300MM DESIGN WIND SPEED N3

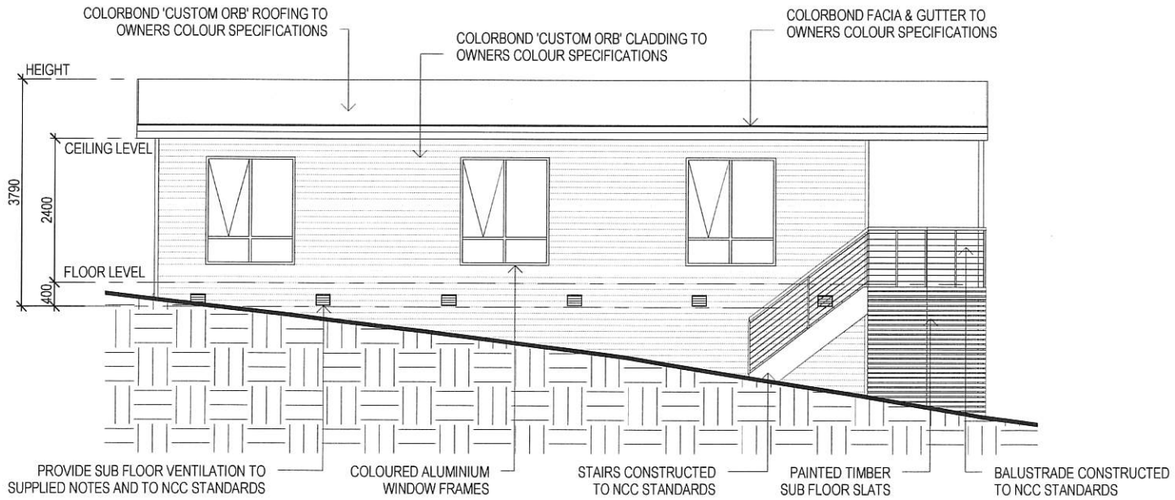
SOFFIT / EAVE LINED WITH 'HARDIFLEX' CEMENT SHEETING

- TRIMMERS LOCATED WITHIN 1200 MM OF EXTERNAL CORNERS TO BE SPACED @ 500 MM CENTERS, REMAINDER OF SHEET - 700 MM CENTERS
- FASTENER / FIXINGS WITHIN 1200 MM OF EXTERNAL CORNERS @ 200 MM CENTERS, REMAINDER OF SHEET - 300 MM CENTERS

ENGINEERING PLUS
BUILDING DESIGN
PROJECT MANAGEMENT
CIVIL/STRUCTURAL ENGINEERING



SOUTH WEST ELEVATION
SCALE 1 : 100



SOUTH EAST ELEVATION
SCALE 1 : 100

SELECTED ALUMINIUM FRAMED WINDOWS - BCA VOLUME 2 PART 3.6

POWDER COATED ALUMINIUM WINDOW & DOOR FRAMES, UNLESS OTHERWISE NOTED.

TASMANIAN OAK REVEALS AND TRIMS. ALL FLASHING AND FIXINGS TO MANUFACTURERS SPECIFICATIONS.

GLAZING & FRAME CONSTRUCTION TO AS 2047 & AS 1288

ALL FIXINGS AND FLASHINGS TO MANUFACTURERS REQUIREMENTS

- WIND CLASSIFICATION AS4055 WIND DESIGN: N3 41M/S
- TERRAIN CATEGORY: T2 (NO SHIELDING)
- SERVICEABILITY DESIGN & WIND PRESSURE: 1000
- WATER RESISTANCE: 150

ISSUED FOR APPROVAL

Client: CHRIS CAFE
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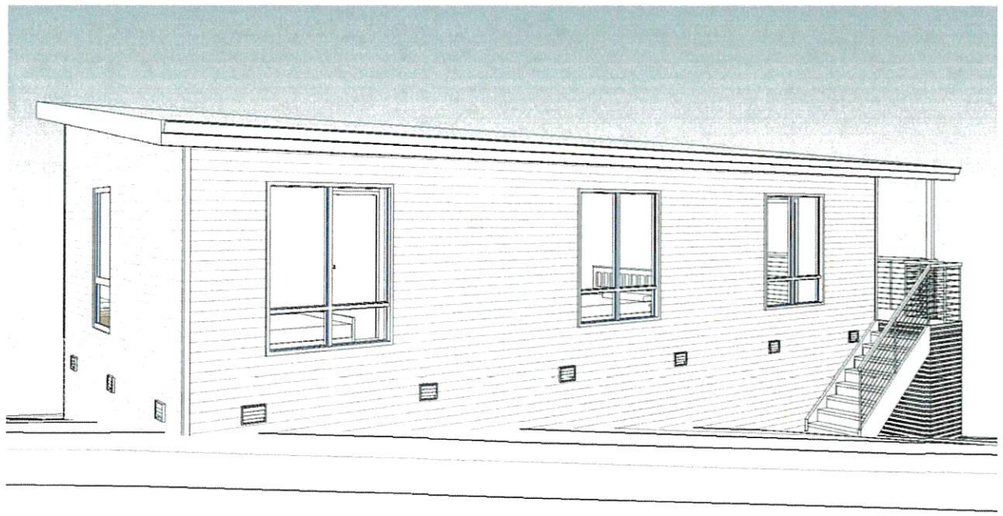
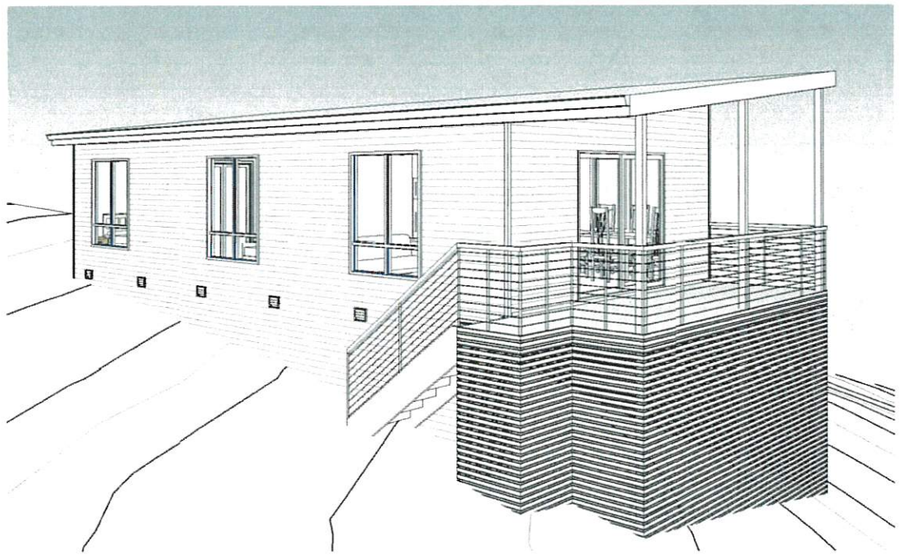
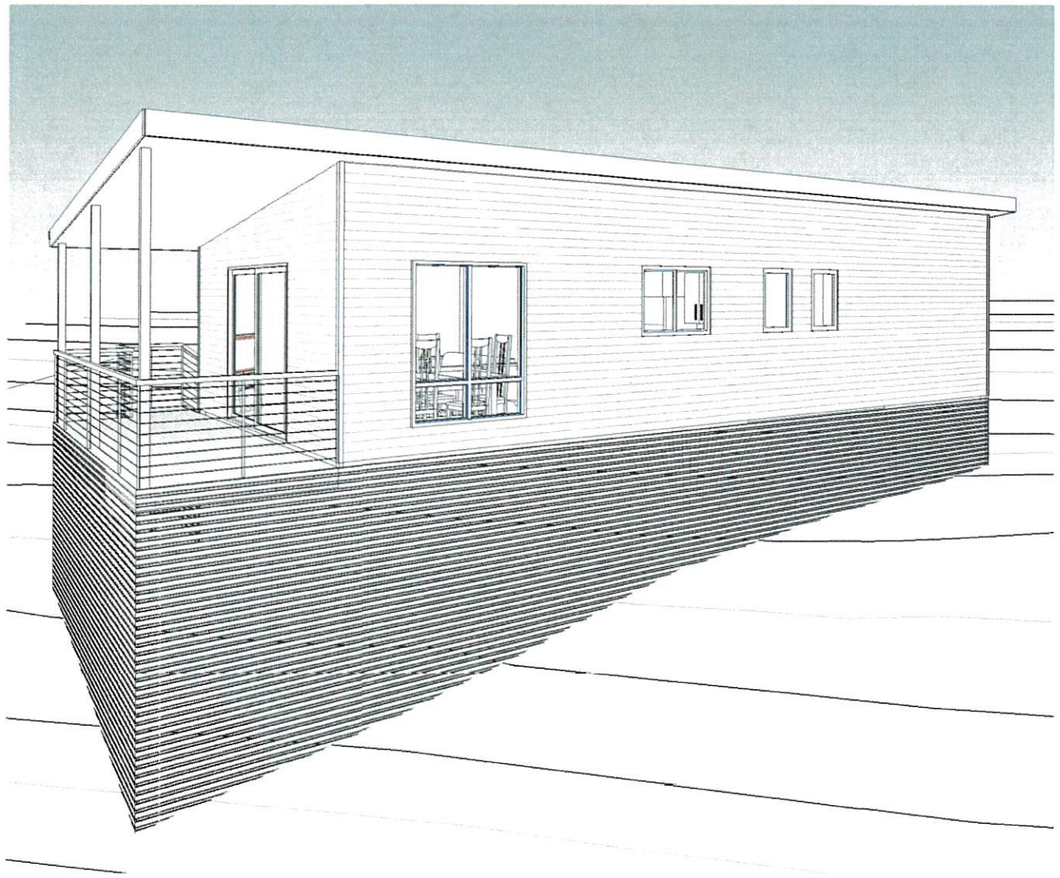
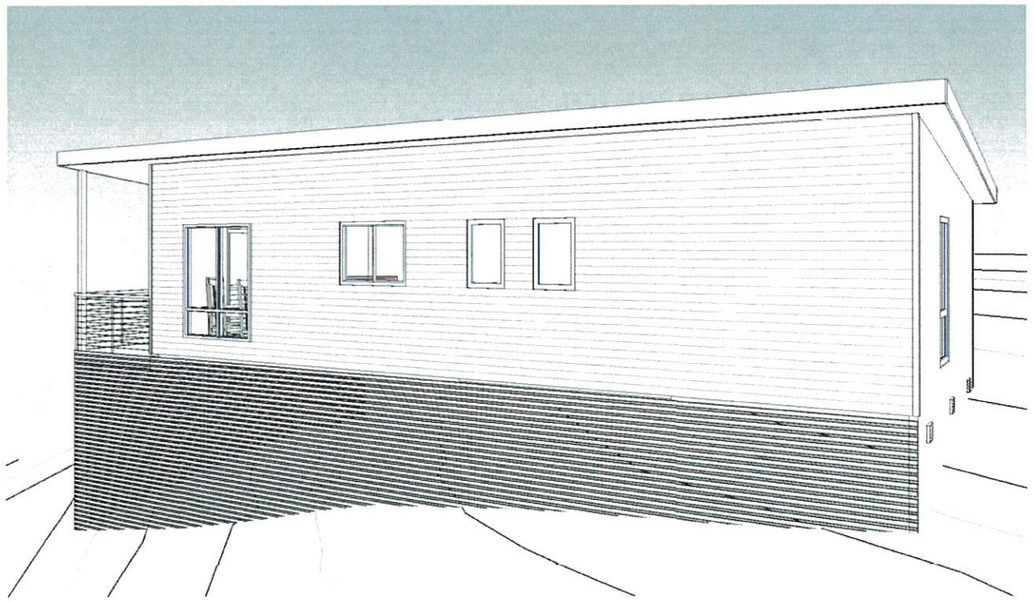
Accredited Building Designer
Designer Name: J.Pfeiffer
Accreditation No: CC2211T

Drawing No: 1452018 A17
Rev: A









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PROJECT MANAGEMENT
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Accredited Building Designer
Designer Name: J.Pfeiffer
Accreditation No: CC2211T

Drawing No: 1452018 A21 Rev A

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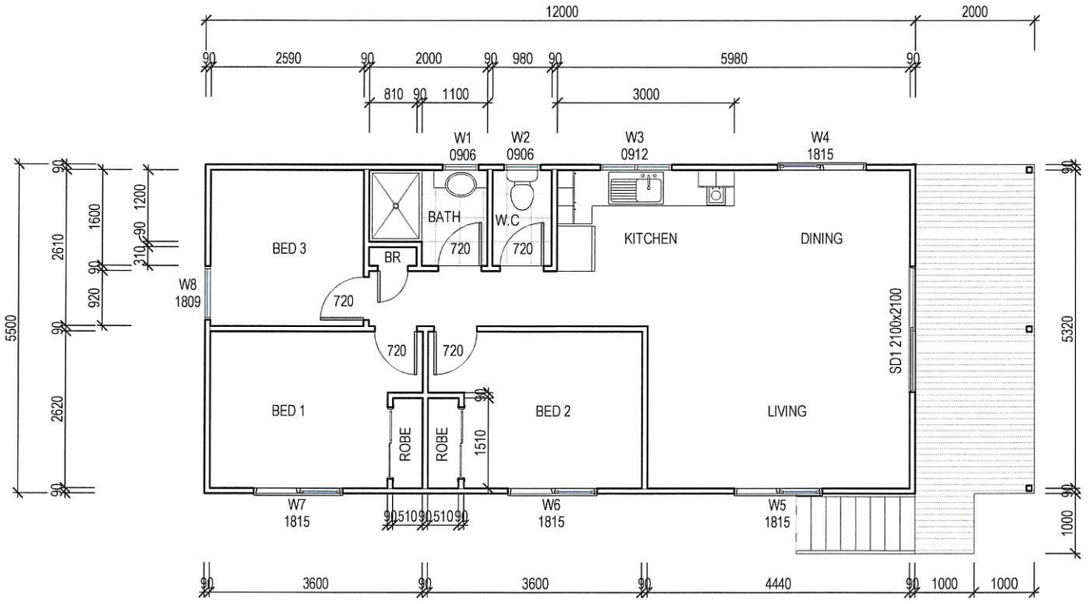

CONSTRUCTION PLAN

SCALE 1 : 100

WINDOW SCHEDULE

MARK	HEIGHT	WIDTH	TYPE	U-VALUE	SHGC
W1	900	600	DG	4.3	.55
W2	900	600	DG	4.3	.55
W3	900	1200	DG	4.3	.55
W4	1800	1500	DG	4.3	.55
W5	1800	1500	DG	4.3	.55
W6	1800	1500	DG	4.3	.55
W7	1800	1500	DG	4.3	.55
W8	1800	900	DG	4.3	.55
SD1	2100	2100	DG	4.0	.61

*W4, W5, W6 - IF FALL HEIGHT TO GROUND IS GREATER THAN 2.0m WINDOW TO HAVE A PERMANENTLY FIXED ROBUST SCREEN INSTALLED

Area Schedule (Gross Building)		
Name	Area	Area (sq)
UNIT 3	66.00 m²	7.10
UNIT 3 DECK	12.00 m²	1.29
	78.00 m²	8.40

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Project: PROPOSED VISITOR ACCOMMODATION
Address: 3 HILL ST, DERBY

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Drawn: C. Parry
Checked: A. Taylor
Approved: J. Pfeiffer
Scale: As Shown @ A3

Accredited Building Designer
Designer Name: J.Pfeiffer
Accreditation No: CC2211T

Drawing No: 1452018 A23 Rev A

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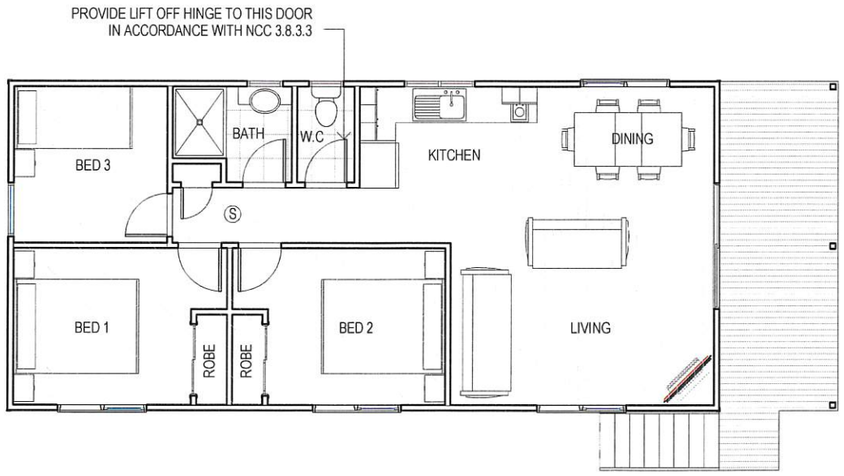

FLOOR COVERINGS
CARPET
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SMOKE ALARMS
PROVIDE AND INSTALL SMOKE ALARMS & HARD WIRE
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Ⓢ - DENOTES INTERCONNECTED SMOKE DETECTORS

FLOOR PLAN
SCALE 1 : 100

Area Schedule (Gross Building)		
Name	Area	Area (sq)
UNIT 3	66.00 m²	7.10
UNIT 3 DECK	12.00 m²	1.29
	78.00 m²	8.40

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Accredited Building Designer
Designer Name: J.Pfeiffer
Accreditation No: CC2211T

Drawing No: 1452018 A24 Rev A

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SUB FLOOR VENTILATION. BCA VOLUME 2 PART 3.4.1.

- A MINIMUM OF 150 MM OF SUB FLOOR CLEARANCE IS TO BE PROVIDED BETWEEN FINISHED SURFACE LEVEL & THE UNDERSIDE OF THE FLOOR BEARER.
- A MINIMUM OF 6000 MM2 PER METRE OF SUB FLOOR VENTILATION IS TO BE UNIFORMLY DISTRIBUTED AROUND THE EXTERNAL AND INTERNAL WALLS OF THE BUILDING.
- VENTS TO BE LOCATED NO GREATER THAN 600 MM FROM AN INTERNAL OR EXTERNAL CORNER.

PRYDA 230x75 - 52 HOLE VENT MAXIMUM SPACING 1050 MM ALONG WALL OR
PRYDA 230x165 - 117 HOLE VENT MAXIMUM SPACING 2350 MM ALONG WALL

ADDITIONAL VENTILATION PROVISIONS TO BE INSTALLED WHERE OBSTRUCTIONS SUCH AS
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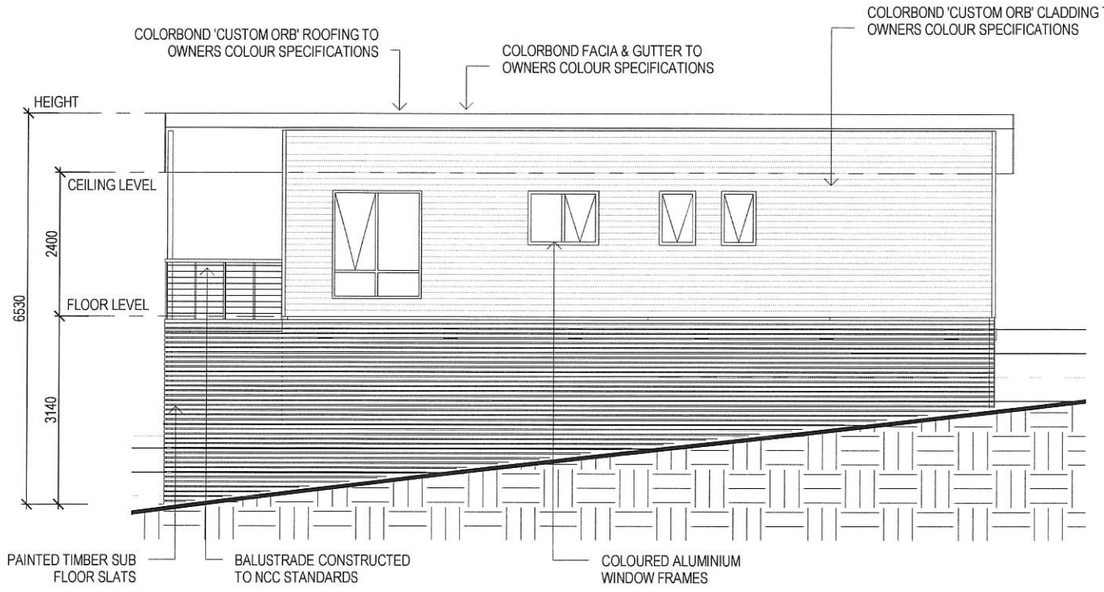
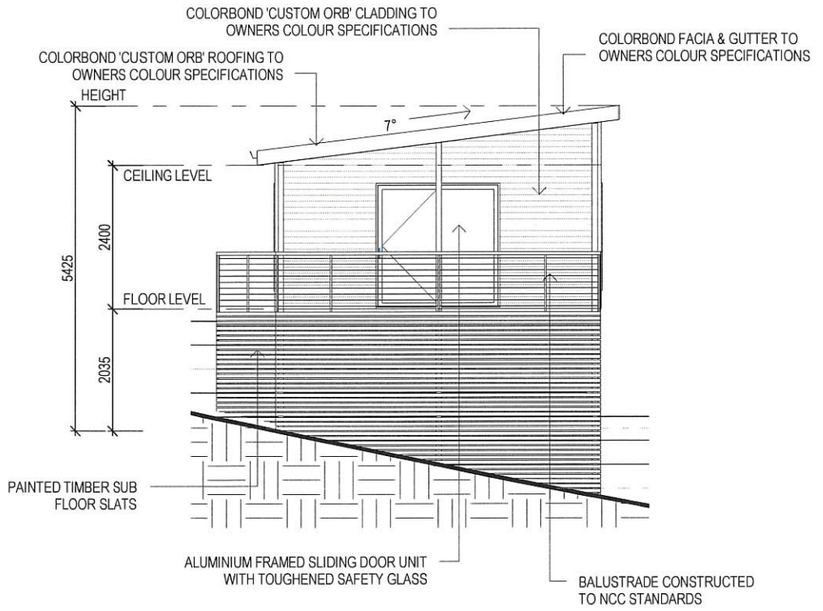


NORTH WEST ELEVATION
SCALE 1 : 100



NORTH EAST ELEVATION
SCALE 1 : 100

STAIR CONSTRUCTION. BCA VOLUME 2 PART 3.9

- TREADS: 250 MM
- RISERS: 180 MM
- TREATED PINE TIMBER STAIR MATERIAL TO AS1684
- TREATMENT LEVELS H4 FOR INGROUND USE & H3 FOR ABOVE GROUND USE.
- ALL FIXINGS FITTING BRACKETS AND CONNECTORS TO BE GALVANISED.
- STRINGER: 300x50 F5 TREATED PINE
- TREADS: 250x45 F5 TREATED PINE MAXIMUM TREAD SPAN 1000

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Client: CHRIS CAFE
Project: PROPOSED VISITOR ACCOMMODATION
Address: 3 HILL ST, DERBY

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jack@engineeringplus.com.au
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ENGINEERING PLUS BUILDING DESIGN PROJECT MANAGEMENT CIVIL/STRUCTURAL ENGINEERING

Accredited Building Designer
Designer Name: J.Pfeiffer
Accreditation No: CC2211T

Drawing No: 1452018 A26 Rev A

EAVE & SOFFIT CONSTRUCTION BCA VOLUME 2 PART 3.5.3.5

EAVE WIDTH - 300MM DESIGN WIND SPEED N3

SOFFIT / EAVE LINED WITH 'HARDIFLEX' CEMENT SHEETING

- TRIMMERS LOCATED WITHIN 1200 MM OF EXTERNAL CORNERS TO BE SPACED @ 500 MM CENTERS, REMAINDER OF SHEET - 700 MM CENTERS
- FASTENER / FIXINGS WITHIN 1200 MM OF EXTERNAL CORNERS @ 200 MM CENTERS, REMAINDER OF SHEET - 300 MM CENTERS

ENGINEERING PLUS
BUILDING DESIGN
PROJECT MANAGEMENT
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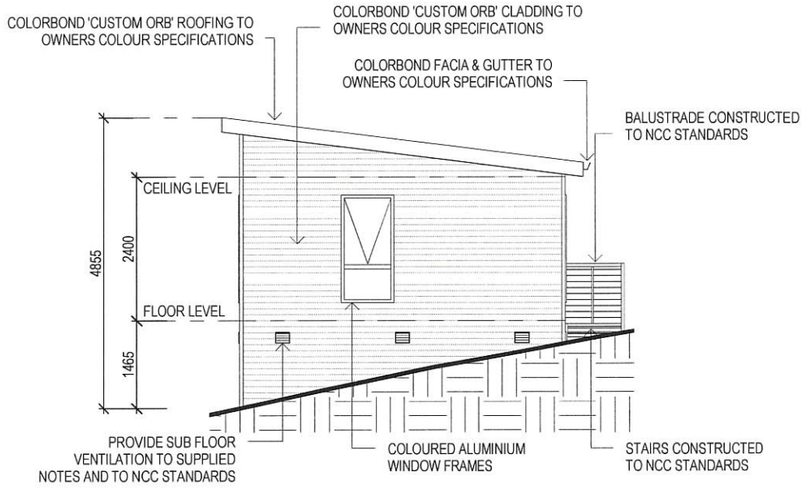
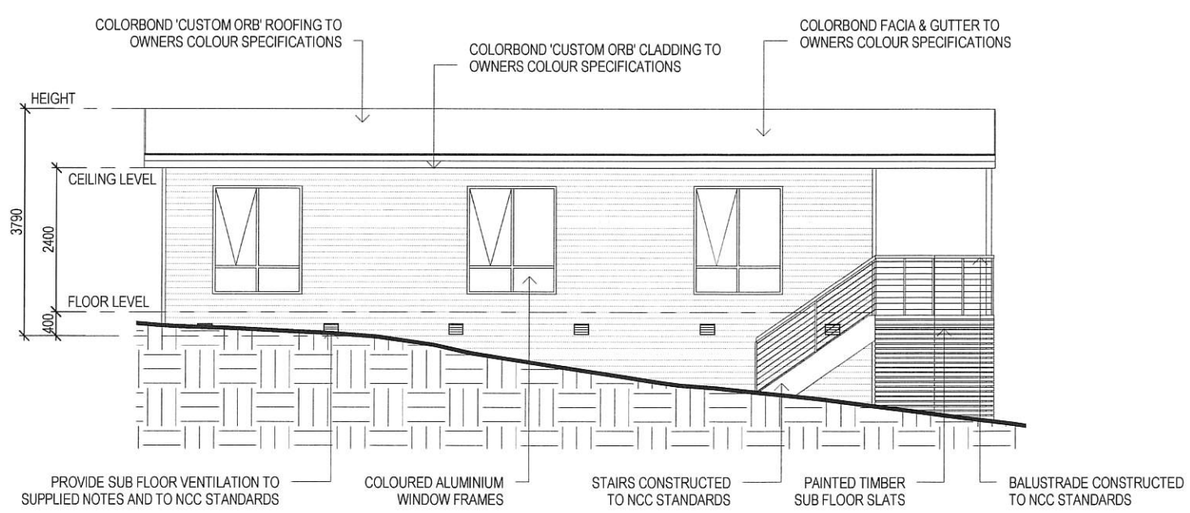


SOUTH WEST ELEVATION
SCALE 1 : 100



SOUTH EAST ELEVATION
SCALE 1 : 100

SELECTED ALUMINIUM FRAMED WINDOWS - BCA VOLUME 2 PART 3.6

POWDER COATED ALUMINIUM WINDOW & DOOR FRAMES, UNLESS OTHERWISE NOTED.

TASMANIAN OAK REVEALS AND TRIMS. ALL FLASHING AND FIXINGS TO MANUFACTURERS SPECIFICATIONS.

GLAZING & FRAME CONSTRUCTION TO AS 2047 & AS 1288

ALL FIXINGS AND FLASHINGS TO MANUFACTURERS REQUIREMENTS

- WIND CLASSIFICATION AS4055 WIND DESIGN: N3 41M/S
- TERRAIN CATEGORY: T2 (NO SHIELDING)
- SERVICEABILITY DESIGN & WIND PRESSURE: 1000
- WATER RESISTANCE: 150

ISSUED FOR APPROVAL

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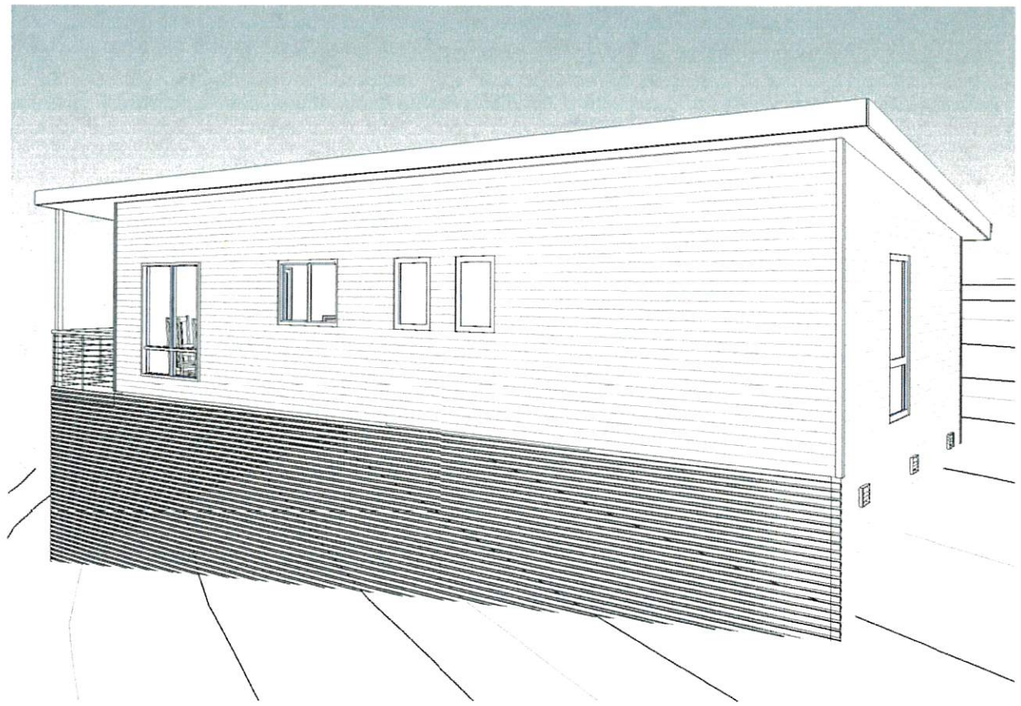
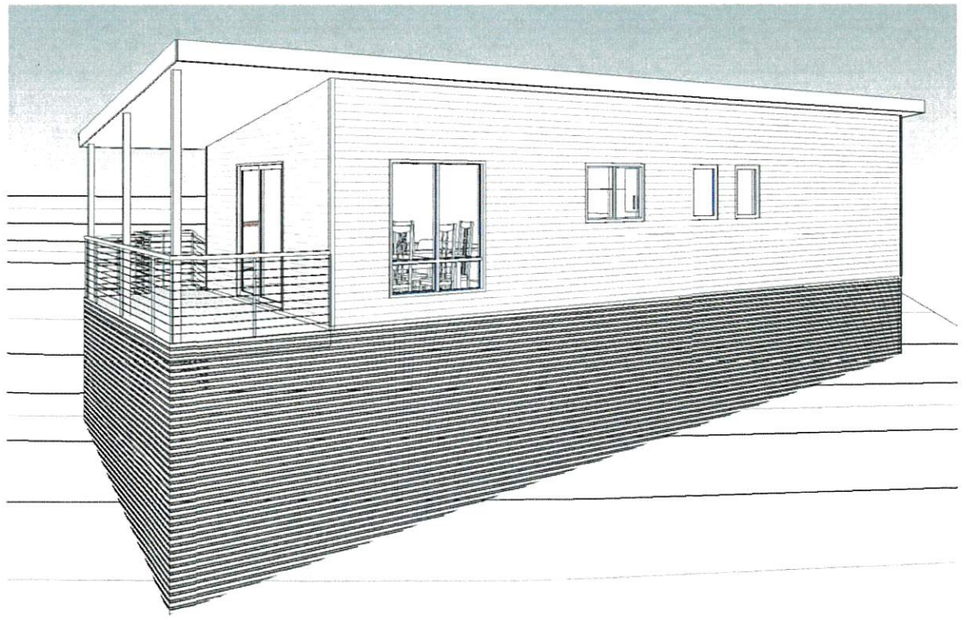
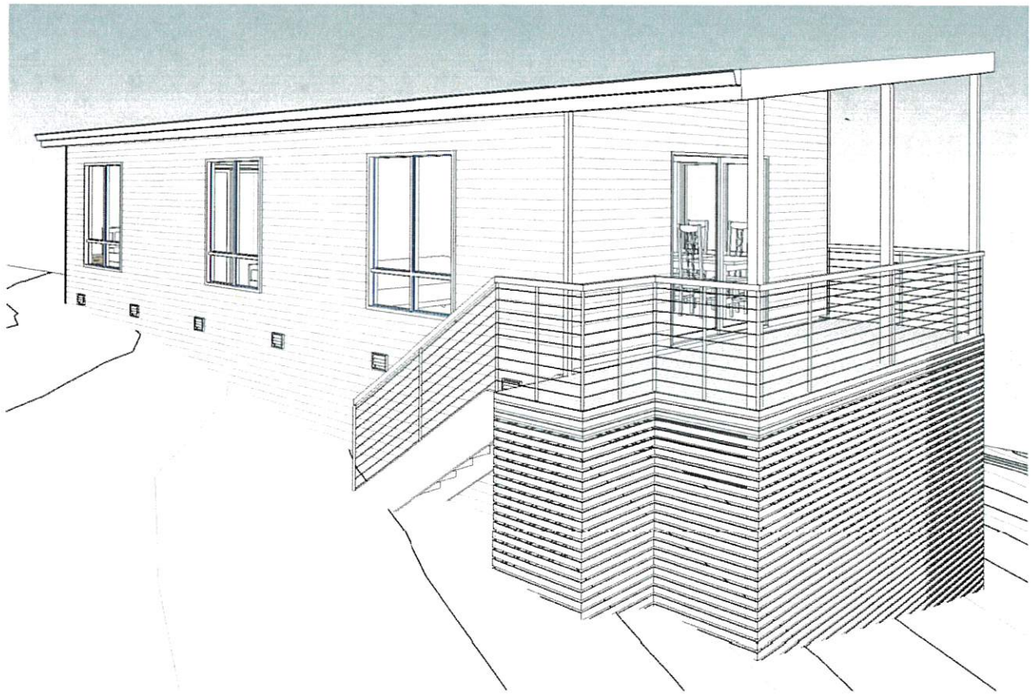
ENGINEERING PLUS BUILDING DESIGN PROJECT MANAGEMENT CIVIL/STRUCTURAL ENGINEERING

Accredited Building Designer
Designer Name: J.Pfeiffer
Accreditation No: CC2211T

Drawing No: 1452018 A27 Rev A







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PROJECT MANAGEMENT
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Accredited Building Designer
Designer Name: J.Pfeiffer
Accreditation No: CC2211T

Drawing No: 1452018 A31 Rev A

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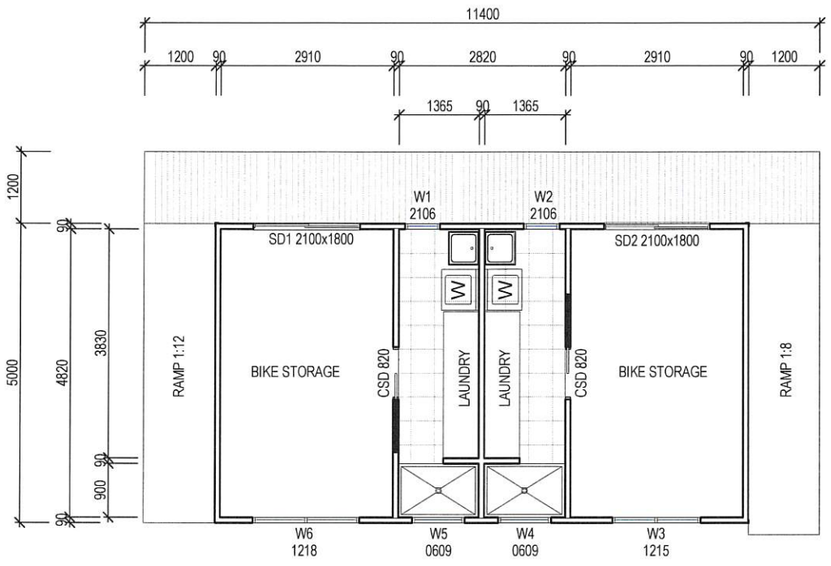

CONSTRUCTION PLAN

SCALE 1 : 100

WINDOW SCHEDULE

MARK	HEIGHT	WIDTH	TYPE	U-VALUE	SHGC
W1	2100	600	SG	6.3	.65
W2	2100	600	SG	6.3	.65
W3	1200	1500	SG	6.3	.65
W4	600	900	SG	6.3	.65
W5	600	900	SG	6.3	.65
W6	1200	1800	SG	6.3	.65
SD1	2100	1800	SG	6.2	.72
SD2	2100	1800	SG	6.2	.72

Area Schedule (Gross Building)		
Name	Area	Area (sq)
BIKE STORAGE DECK	13.68 m²	1.47
BIKE STORAGE	45.00 m²	4.84
BIKE STORAGE RAMP	6.24 m²	0.67
BIKE STORAGE RAMP	6.00 m²	0.65
	70.92 m²	7.63

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ENGINEERING PLUS
BUILDING DESIGN
PROJECT MANAGEMENT
CIVIL/STRUCTURAL ENGINEERING

FLOOR PLAN
SCALE 1 : 100

FLOOR COVERINGS
CARPET
CONCRETE
TIMBER DECKING
TILE
FLOATING TIMBER FLOOR

SMOKE ALARMS
PROVIDE AND INSTALL SMOKE ALARMS & HARD WIRE
TO BUILDING POWER SUPPLY TO AS 3786.
CEILING MOUNTED WITH 9VDC
ALKALINE BATTERY BACKUP
TO LOCATIONS INDICATED ON PLAN AND IN ACCORDANCE
WITH NCC PART 3.7.2

Ⓢ - DENOTES INTERCONNECTED SMOKE DETECTORS

Area Schedule (Gross Building)		
Name	Area	Area (sq)
BIKE STORAGE DECK	13.68 m²	1.47
BIKE STORAGE	45.00 m²	4.84
BIKE STORAGE RAMP	6.24 m²	0.67
BIKE STORAGE RAMP	6.00 m²	0.65
	70.92 m²	7.63

ISSUED FOR APPROVAL

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Your Complete Building Solutions
Tasbuilt Manufactured Homes & Cabins
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Ph: 03 6393 1013
admin@tasbuilthomes.com.au

Rev:	Amendment:	Date:	Int:
A	ISSUED FOR APPROVAL	21/11/18	C.P.

Date Drawn: 21/11/18
Drawn: C. Parry
Checked: A. Taylor
Approved: J. Pfeiffer
Scale: As Shown @ A3

Client: CHRIS CAFE
Project: PROPOSED VISITOR ACCOMMODATION
Address: 3 HILL ST, DERBY

Mob 0417 362 783 or 0417 545 813
jack@engineeringplus.com.au
trin@engineeringplus.com.au
ENGINEERING PLUS

Accredited Building Designer
Designer Name: J.Pfeiffer
Accreditation No: CC2211T

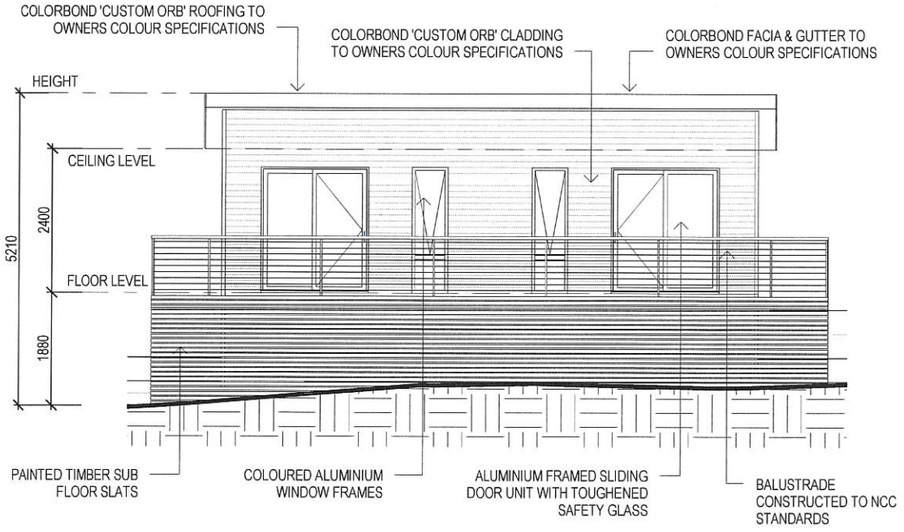
Drawing No: 1452018 A34 Rev A

SUB FLOOR VENTILATION. BCA VOLUME 2 PART 3.4.1.

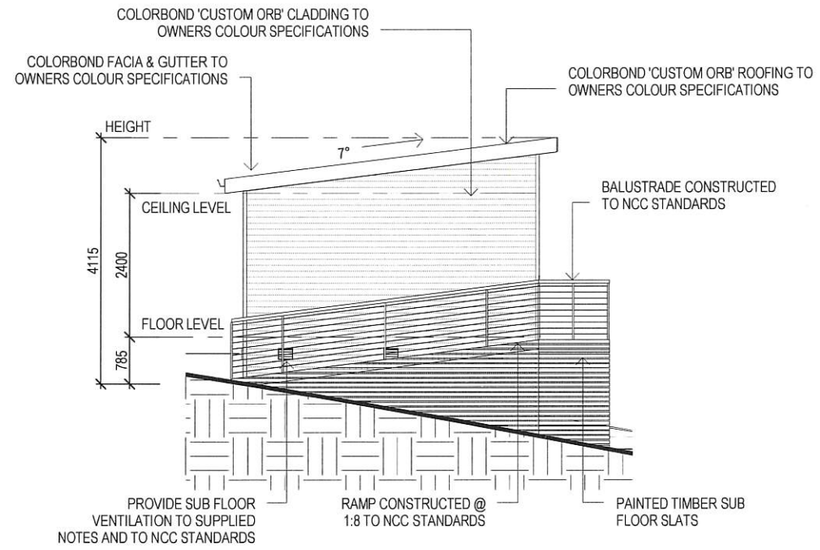
- A MINIMUM OF 150 MM OF SUB FLOOR CLEARANCE IS TO BE PROVIDED BETWEEN FINISHED SURFACE LEVEL & THE UNDERSIDE OF THE FLOOR BEARER.
- A MINIMUM OF 6000 MM2 PER METRE OF SUB FLOOR VENTILATION IS TO BE UNIFORMLY DISTRIBUTED AROUND THE EXTERNAL AND INTERNAL WALLS OF THE BUILDING.
- VENTS TO BE LOCATED NO GREATER THAN 600 MM FROM AN INTERNAL OR EXTERNAL CORNER.

PRYDA 230x75 - 52 HOLE VENT MAXIMUM SPACING 1050 MM ALONG WALL OR
PRYDA 230x165 - 117 HOLE VENT MAXIMUM SPACING 2350 MM ALONG WALL

ADDITIONAL VENTILATION PROVISIONS TO BE INSTALLED WHERE OBSTRUCTIONS SUCH AS
CONCRETE VERANDAH'S, DECKS, PATIOS AND PAVING ARE INSTALLED & OBSTRUCT VENTILATION.



NORTH ELEVATION
SCALE 1 : 100



EAST ELEVATION
SCALE 1 : 100

STAIR CONSTRUCTION. BCA VOLUME 2 PART 3.9

- TREADS: 250 MM
- RISERS: 180 MM
- TREATED PINE TIMBER STAIR MATERIAL TO AS1684
- TREATMENT LEVELS H4 FOR INGROUND USE & H3 FOR ABOVE GROUND USE.
- ALL FIXINGS FITTING BRACKETS AND CONNECTORS TO BE GALVANISED.
- STRINGER: 300x50 F5 TREATED PINE
- TREADS: 250x45 F5 TREATED PINE MAXIMUM TREAD SPAN 1000

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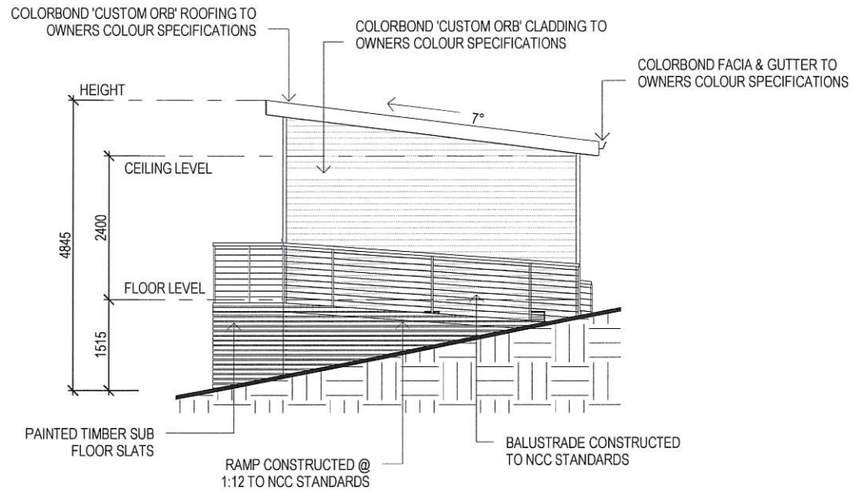
Drawing No: 1452018 A36 Rev A

EAVE & SOFFIT CONSTRUCTION BCA VOLUME 2 PART 3.5.3.5

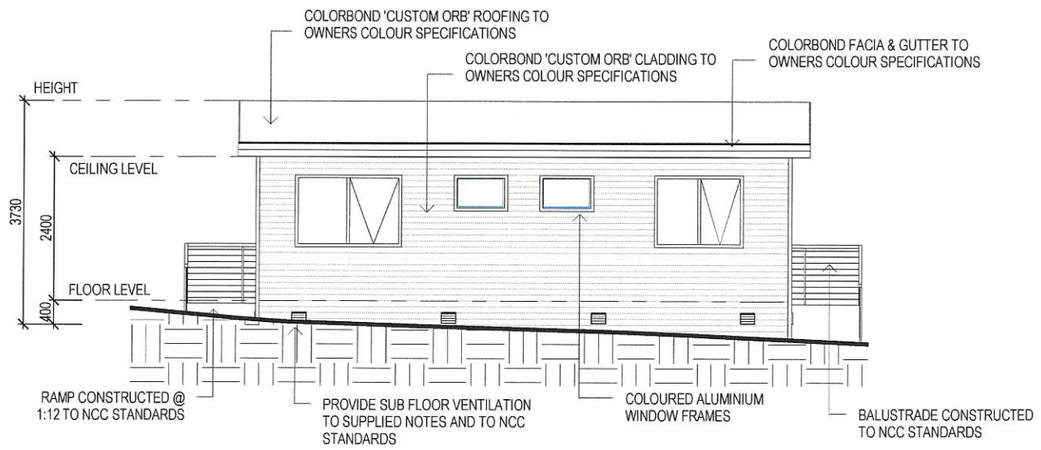
EAVE WIDTH - 300MM DESIGN WIND SPEED N3

SOFFIT / EAVE LINED WITH 'HARDIFLEX' CEMENT SHEETING

- TRIMMERS LOCATED WITHIN 1200 MM OF EXTERNAL CORNERS TO BE SPACED @ 500 MM CENTERS, REMAINDER OF SHEET - 700 MM CENTERS
- FASTENER / FIXINGS WITHIN 1200 MM OF EXTERNAL CORNERS @ 200 MM CENTERS, REMAINDER OF SHEET - 300 MM CENTERS



WEST ELEVATION
SCALE 1 : 100



SOUTH ELEVATION
SCALE 1 : 100

SELECTED ALUMINIUM FRAMED WINDOWS - BCA VOLUME 2 PART 3.6

POWDER COATED ALUMINIUM WINDOW & DOOR FRAMES, UNLESS OTHERWISE NOTED.

TASMANIAN OAK REVEALS AND TRIMS. ALL FLASHING AND FIXINGS TO MANUFACTURERS SPECIFICATIONS.

GLAZING & FRAME CONSTRUCTION TO AS 2047 & AS 1288

ALL FIXINGS AND FLASHINGS TO MANUFACTURERS REQUIREMENTS

- WIND CLASSIFICATION AS4055 WIND DESIGN: N3 41M/S
- TERRAIN CATEGORY: T2 (NO SHIELDING)
- SERVICEABILITY DESIGN & WIND PRESSURE: 1000
- WATER RESISTANCE: 150

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ENGINEERING PLUS BUILDING DESIGN PROJECT MANAGEMENT CIVIL/STRUCTURAL ENGINEERING

Accredited Building Designer
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Accreditation No: CC2211T

Drawing No: 1452018 A37 Rev A

ENGINEERING PLUS
BUILDING DESIGN
PROJECT MANAGEMENT
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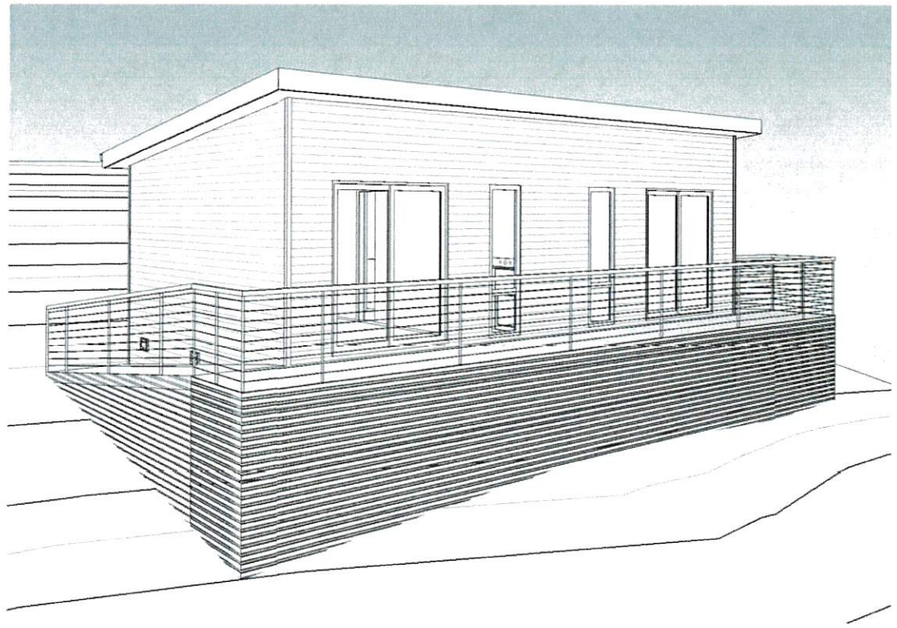

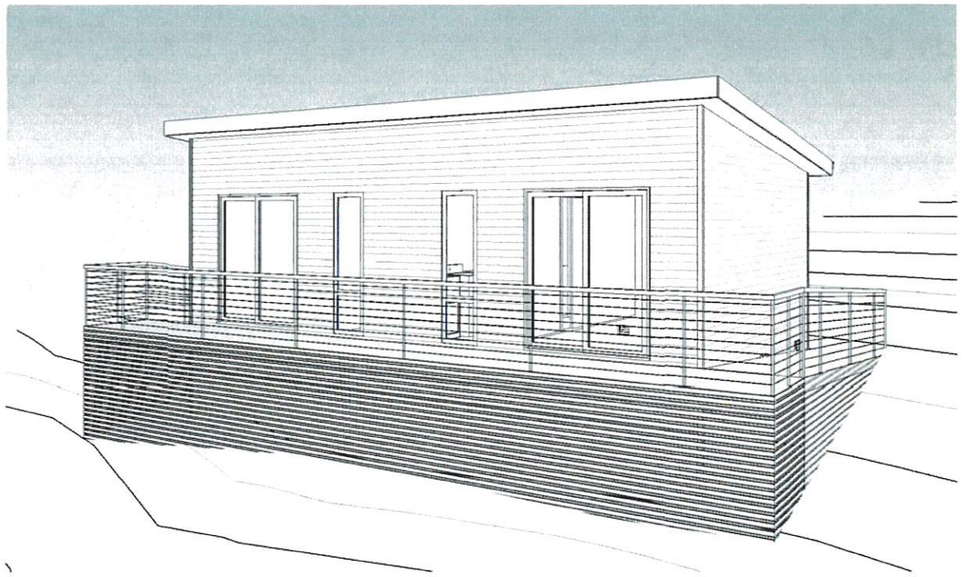

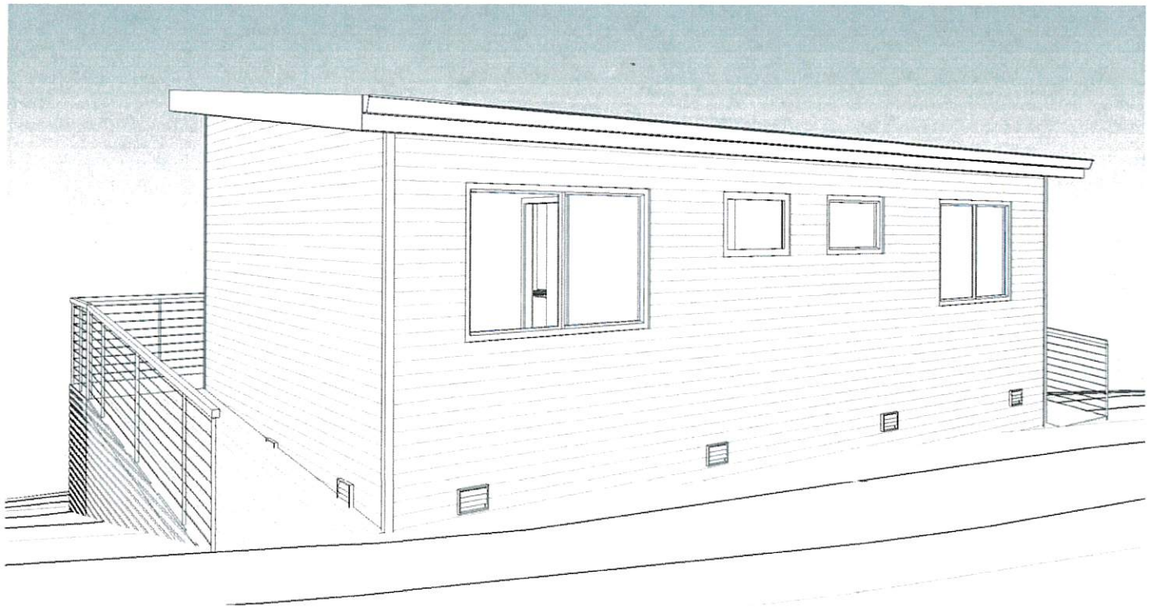

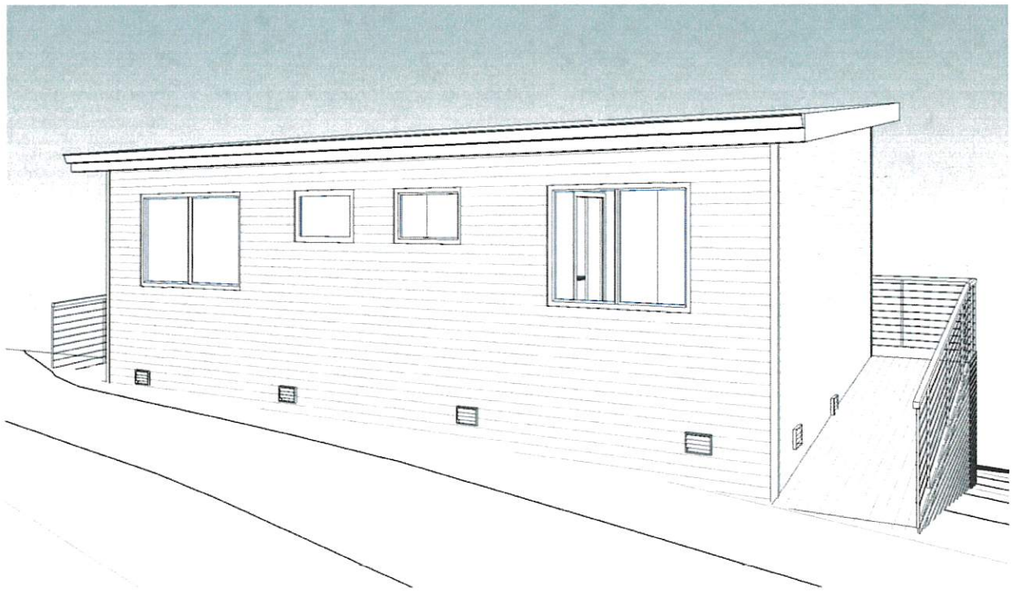

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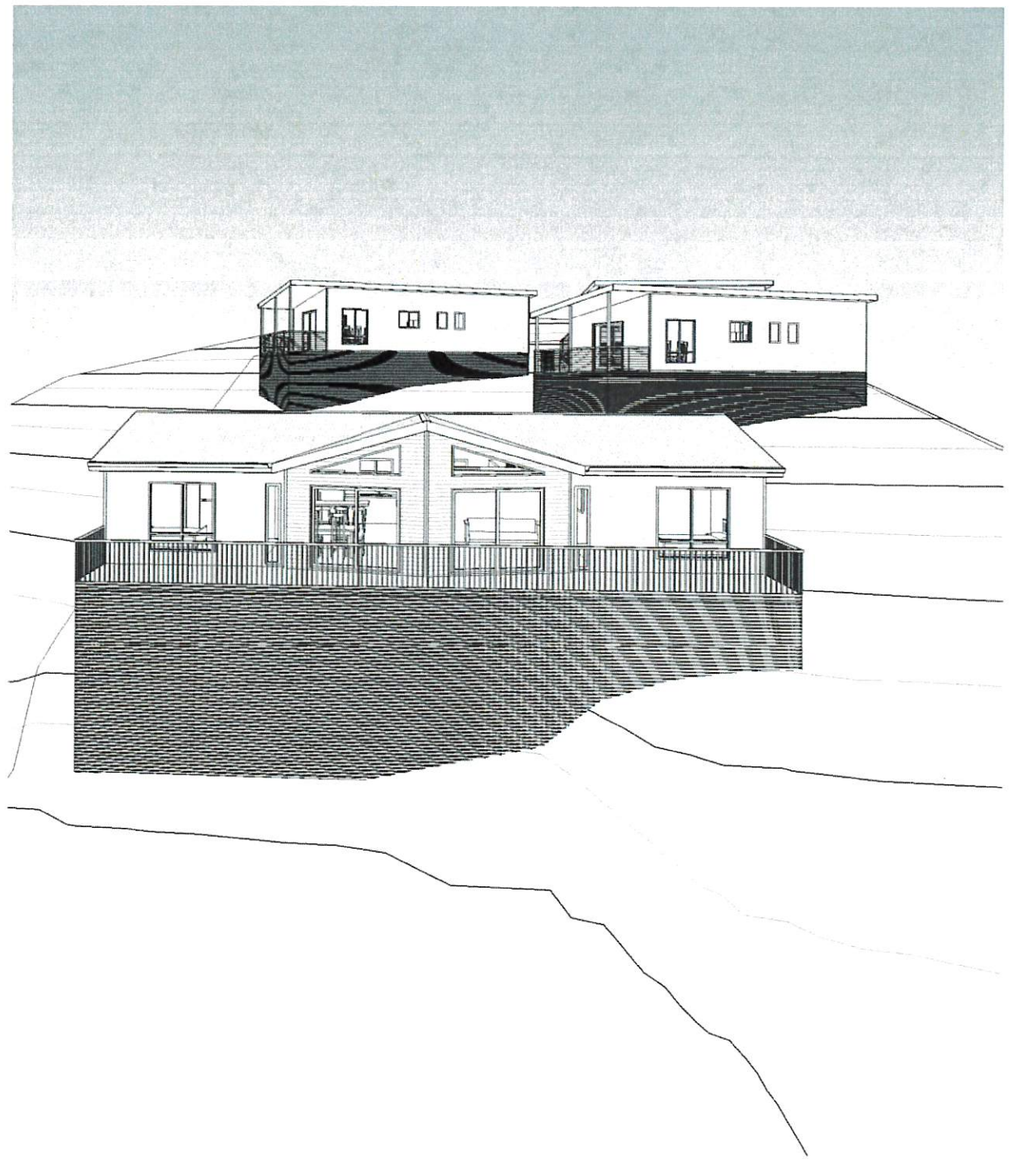
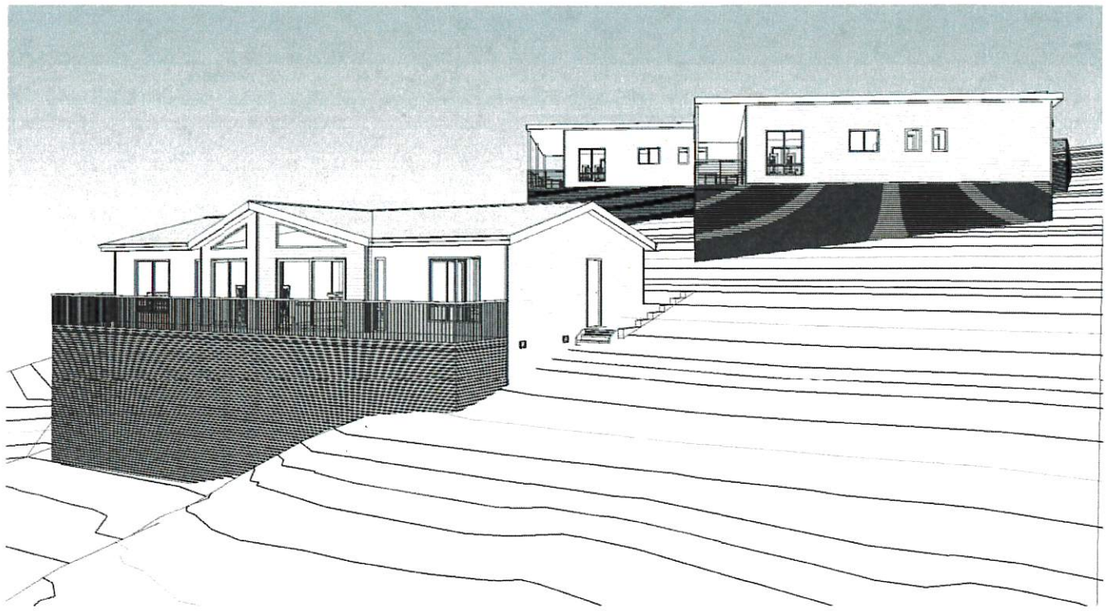
ENGINEERING PLUS

Accredited Building Designer
Designer Name: J.Pfeiffer
Accreditation No: CC2211T

Drawing No: 1452018 A41
Rev A

ENGINEERING PLUS
BUILDING DESIGN
PROJECT MANAGEMENT
CIVIL/STRUCTURAL ENGINEERING





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Designer Name: J.Pfeiffer
Accreditation No: CC2211T

Drawing No: 1452018
A43
Rev A

Amended Submission to Planning Authority Notice

Council Planning Permit No.	PLA/2019/28	Council notice date	19/03/2019
TasWater details			
TasWater Reference No.	TWDA 2019/00370-DC	Date of response Date amended	25/03/2019 28/03/2019
TasWater Contact	Sam Bryant	Phone No.	(03) 6237 8642
Response issued to			
Council name	DORSET COUNCIL		
Contact details	development@dorset.tas.gov.au		
Development details			
Address	3 HILL STREET, DERBY	Property ID (PID)	6819527
Description of development	Visitor Accomodation - 3 units		

Schedule of drawings/documents

Prepared by	Drawing/document No.	Revision No.	Date of Issue
Engineering plus	Site plan/ 1452018	A	21/11/2018

Conditions

Pursuant to the *Water and Sewerage Industry Act* 2008 (TAS) Section 56P(1) TasWater imposes the following conditions on the permit for this application:

CONNECTIONS, METERING & BACKFLOW

1. A suitably sized water supply with metered connections to the development must be designed and constructed to TasWater's satisfaction and be in accordance with any other conditions in this permit.
2. Any removal/supply and installation of water meters and/or the removal of redundant and/or installation of new and modified property service connections must be carried out by TasWater at the developer's cost.
3. TasWater records indicate there is an existing ID20mm water meter for the property (Meter ID 12W089431). Located 3m in from the front right corner of the lot. Plans submitted with the application for Certificate for Certifiable Work must show an adequately sized water supply for the development in accordance with TasWater water metering guidelines.

DEVELOPMENT ASSESSMENT FEES

4. The applicant or landowner as the case may be, must pay a development assessment fee of $351,28 to TasWater, as approved by the Economic Regulator and the fees will be indexed, until the date paid to TasWater.

   The payment is required within 30 days of the issue of an invoice by TasWater.

Advice

General

For information on TasWater development standards, please visit
http://www.taswater.com.au/Development/Development-Standards

For application forms please visit http://www.taswater.com.au/Development/Forms

Service Locations

Please note that the developer is responsible for arranging to locate the existing TasWater infrastructure and clearly showing it on the drawings. Existing TasWater infrastructure may be located by a surveyor and/or a private contractor engaged at the developers cost to locate the infrastructure.
The location of infrastructure as shown on the GIS is indicative only.

- A permit is required to work within TasWater's easements or in the vicinity of its infrastructure. Further information can be obtained from TasWater
- TasWater has listed a number of service providers who can provide asset detection and location services should you require it. Visit www.taswater.com.au/Development/Service-location for a list of companies
- TasWater will locate residential water stop taps free of charge
- Sewer drainage plans or Inspection Openings (IO) for residential properties are available from your local council.

Declaration

The drawings/documents and conditions stated above constitute TasWater's Submission to Planning Authority Notice.

Authorised by

Jason Taylor
Development Assessment Manager

TasWater Contact Details			
Phone	13 6992	Email	development@taswater.com.au
Mail	GPO Box 1393 Hobart TAS 7001	Web	www.taswater.com.au

EAW Geo Services

A trading Name of Earth Air Water Consulting and Monitoring Pty Ltd

AS/NZS 1547: 2012

ONSITE WASTEWATER DESIGN REPORT

Proposed 2 Cabin Accommodation and
3 Bedroom Dwelling -
3 Hill Street, Derby, TAS 7264

Prepared for Tas Built Homes

(Issue 1 – 08 January 2019)

EAW Job Number 519

IMPORTANT NOTE: -

- This Document is a "Design Report" in that it reports on the assessment of the sites capability of being able to manage the effluent from an on-site waste water system. The report sets out the design criteria for such a system. While the design report suggests and recommends certain actions construction of any on-site waste water management system CAN NOT COMMENCE until the appropriate Local Government Authority approves the design and issues a special plumbing permit.

- Any Changes from the design herein, will require approval initially of the Designer and submission of any changes to the Building Surveyor or similar entity as well as the Local Approving Council. Any un-notified changes may result in delays or denial of final approval.

- As the designer has little control over the actual construction process it is important that your Plumber / installer checks all levels on site to ensure falls are correct and meet the National Construction Code Guidelines, Vol 3, Plumbing Code of Australia requirements.

- Note that as the building has not been constructed at the time of preparing this design it is not practical to stipulate levels exactly so your Plumber Must Check all levels on site.

- EAW Geo Services commission is only for the design of the On-Site Wastewater Management System – all plumbing fixtures and associated levels are not part of this design.

- Manufactured top soil such as wood mulch is not a satisfactory cover for beds and trenches or the substitution for native site soil. Manufactured mulch may be only used to cover drip irrigation lines or in heavy clay soil cover the soil that may be placed over the drip irrigation lines.

- Our design proposed in this document must be read in conjunction with all other design plans for this proposed structure and site layout.

- The design loading for this system has been based on the requirements of AS/NZS 1547:2012. Loading the system above this level may lead to infiltration system failure or significantly shorten the life of your infiltration beds.

- When the Infiltration area or irrigation areas have been designed – any excavation within 10 metres of the designated areas must be avoided or referred to this Company for approval and checking of impact on the designed infiltration areas.

- Your Permit Issuing Authority may require a Designer Site Inspection during construction and it therefore important that this office is given 48 hours' notice of when that inspection will be required.

- The design is strictly for the loading mentioned in this report and must not be exceeded.

SITE INFORMATION

Locality:	Dorset, LGA
Owner:	C. Cafe
Site Address:	3 Hill Street, Derby, TAS 7264
Property ID:	6819527
Title:	207961 / 1
Land Area:	Approx. 0.2023 Hectares
Existing Improvements:	Small sheds and shrubs
Town Water Supply:	Yes

Soil Type

Soil Classification:	Not Classified. Weathered sandstone and granitic soil from local rock base.
Mapped Soil Type:	Derived from weathering of underlying Sandstone and Granite structure.
Mapped Geology:	Paleozoic medium to fine grained sandstone metamorphosed by granitic intrusion. (Soil and Geology source data from "Geology Maps MRT")

Climate

Annual Rainfall:	Approx. 981 mm (Station 091116) Scottsdale
Annual Evaporation:	Approx. 113mm (Station 094008) Very few stations record evaporation.

Land Use Residential (Outer Urban)

Site History Currently Residential Land.

Waterways Ringarooma River about 70 metres to north.

This Assessment

Cabins Two Cabins on upper section of site 6 bedrooms 10 persons
Loading **10 x 150 Litres = 1050 L/day**
Allow 80% occupancy = 840 L/day

Dwelling 1 Dwelling on lower section of site 3 bedrooms 5 persons
Loading **5 x 150 Litres = 750 L/day**
Allow 80% occupancy = 600 L / day

Design for: -

FujiClean 4200 CE Daily Loading **1440 L/day**
Dripper System – DIR 3.5 mm/day = 411m^2 required area

SOIL PROFILE

Three test bores between approximately 0.3 metres deep and up to 0.6 metres deep were augered across the site. Each bore encountered fractured large metamorphosed boulders up to 500mm size in the upper 1 metre with boulders becoming larger with increased depth. The adjacent lot had an excavation on that lots slope and the boulder profile is shown in the photograph below.

Figure 1 – Soil Profile on Lot Adjacent and in same Geological Profile.

The boulders limited auger progress on the site for wastewater infiltration assessment as required by AS/NZS 1547: 2012. The lot is within an extensive area of Metamorphosed Sandstone that has become fractured towards the top of the structure with a clay loam infill. The rocky infiltration barrier or aquitard was identified and appears to cover large sections of the site however, sufficient separation can be achieved on average between a sub-soil dripper system and the aquitard. Some infiltration will occur within the heavily jointed rock horizon.

Reference to Table L1 gives this site a Category 4 soil being a shallow clay loam soil cover over the metamorphosed sandstone rock.

SOIL PERMEABILITY

The soil profile, being a shallow soil cover over the metamorphosed sandstone rock and the thin clay loam soil, the estimated saturated infiltration rate is in the range of 0.12 to 0.5 m/day thus, a DIR for the proposed dripper irrigation system is taken at, in accordance with AS/NZS 1547, as 3.5 mm/day. Test using the Talsma-Hallam constant head test method could not be carried out in accordance with Appendix G of AS 1547:2012 due to the shallow soil profile.

The DIR for this type of soil is taken at up to 3.5 mm/day, for a drip irrigation system **when Secondary Treated Effluent used**.

SYSTEM DESIGN

The contour of the site and the proposed development layout will require a single treatment system located in the lower area of the site with the discharge being pumped up slope to one of three irrigation areas that will be loaded in a sequential manner that will distribute the effluent across the three areas with spells between each load to a bed or grouped bed area. Due to the shallow soil profile the use of three independent infiltration areas on the site will help reduce the risk of irrigation area flooding.

The design above has considered an 80% occupancy level and adjusted the site daily loading to this estimated occupancy level. At the expected loading based on the 80% occupancy the effluent produced will be at the upper limit of a large domestic secondary treatment unit and as there is no area in which to duplicate the effluent disposal we are recommending a small commercial sized secondary treatment plant that will have a longer treatment time in this situation than a domestic sized unit, thus an improved effluent with less suspended solid will lower the risk of carry over impacting on the life of the sub-soil drip irrigation system. The treatment unit proposed will require a separate discharge pump tank that will have to be fitted with a pump capable of discharging against the head of about 13 metres static head above the lower point of the site to the upper level infiltration area.

The site has some shrub plantings and several well-established trees which will enhance evapotranspiration, overall improving the infiltration on site. If beds were to be used on the site some of the established trees would have to be removed.

Additionally, the site is in a low landslide risk area and the drip irrigation system will distribute the effluent across a large area compared to the trench or bed systems available thus, eliminating the formation of higher risk landslide areas forming in "pockets" across the site.

SYSTEM RECOMMENDATIONS

Fuji Clean Septic Effluent Treatment

For each system the wastewater will need to be treated with an AWTS Type treatment plant. It is recommended that a FujiClean CE4200, be installed on this site. The AWTS unit has a daily loading rate of up to 4200 litres and has a loading rating of up to 21 person's equivalents.

The CE4200 treatment plant will require a separate effluent pump pit to be installed with a suitable poump to lift the effluent to the upper level of the site and have sufficient head to operate

the drip irrigation lines. Your plumber will need to discuss these requirements with the FujiClean suppliers.

The AWTS plant must not be installed closer than 3 metres to any dwelling and must maintain a distance of 3 metres from any boundary. Both these requirements are achievable on this site.

CE4200 - Model Specifications			
Equivalent Person (EP)	21		
Capacity(L)	4,200	**Dimensions(mm)**	
Sedimentation Chamber	3,169	Max Width (W)	1,840
Anaerobic Filtration Chamber	3,177	Max Length (L)	3,880
Aerobic Contact Filtration Chamber	1,431	Max Height (H)	2,065
Storage Chamber	703	Inlet Invert (A)	400
Disinfection Chamber	44	Outlet Invert (B)	450
Total Volume	8,524	Inlet Pipe Nominal Size	dia.125
Weight(kg)	530	Outlet Pipe Nominal Size	dia.125
Correspondent Blower Type	MAC150N		
Construction Material	Fiberglass Reinforced Plastic (FRP)		

CE4200 - Water Quality Specifications			
Designed Hydraulic Loading	4200L/day	Effluent Quality Field Data	BOD<=10mg/L
Treatment Method	Contact Filter Bed Process		SS <= 10mg/L
Nitrogen Removal	Yes		T-N<= 20mg/L
Phosphorous Removal	Yes		T-P<= 2mg/L
Classification		Secondary Treatment System	

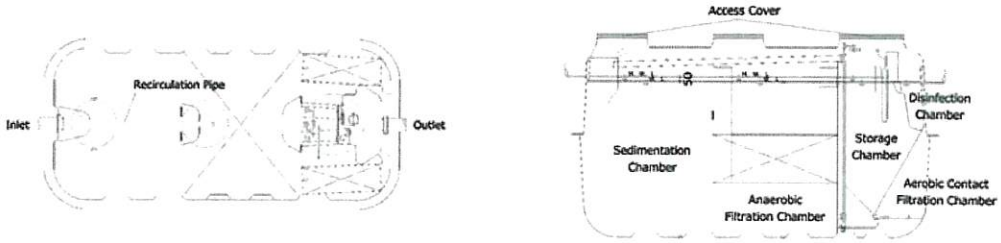


Figure 2 – Fuji Clean CE 4200 Treatment System

AWTS Treatment System Connections and Alarms

The Fuji Clean unit is supplied with several high-level alarms however high level and pump failure alarms for the effluent discharge pump pit will be required. Note that the effluent pump pit must have at least a high-level alarm, set at a level where there will be at least 24 storage of effluent. A mobile dialer system should also be fitted where the site caretaker does not live on site.

The alarms must be placed in a position where they are visible or can be heard by dwelling occupants. It is recommended that the Alarms are placed in either the Kitchen or Laundry area of the proposed Building.

If the "operator" of the complex does not live on site it is recommended that the alarms be installed with a remote dialing / call system to the caretaker or operator of the site. Thus, in the event of a system failure the alert will initiate the servicing or repair of any system failure.

Drip Irrigation Beds

It is recommended that the treated effluent be disposed of through a **Drip Irrigation Bed** system.

The typical design of a drip irrigation bed is shown in the "figure 3", following. The irrigation bed sketch following shows the required components for operation and the selected irrigation areas are shown on the site plan included (Figures 5).

The secondary treatment unit discharge pump will load the "Supply Header Line" and pressurize the system to start the dripper outlets functioning. Excess supply and pressure is returned to the main treatment tank via the "Return Header Line".

The "Flush Valve" allows the drip irrigation lines to be periodically flushed clean of any sediment deposits. This should occur quarterly during the AWTs system maintenance check cycle.

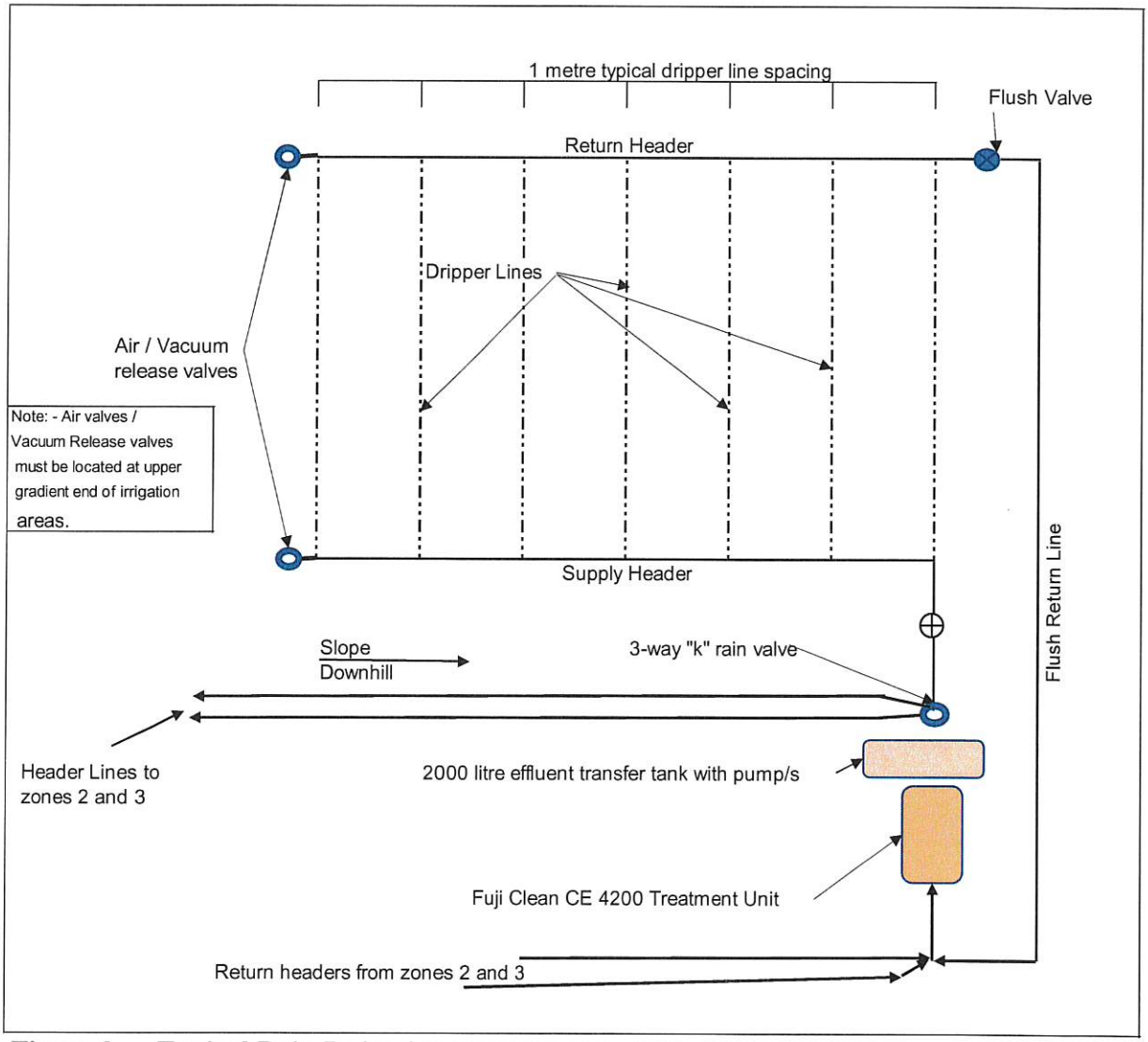


Figure 3 – Typical Drip Irrigation Zone / Bed including Layout of Components - (ref Figure M1 AS/NZS 1547:2000)

Dose Loading the Drip Irrigation Zones

The drip irrigation system will be dose loaded from the AWTS system. The dose loading should be approximately 120 to 150 litres per cycle and as two irrigation zones are to be used, the dose loading must be cycled from zone to zone following each application of a dose through the use of a sequencing valve such as a "K" Rainvalve. Thus, each irrigation bed / zone should receive approximately three to five doses in every 24-hour period depending on the site occupancy level.

Drip Irrigation Zone / Bed

The designed drip irrigation zone / bed is shown in figure 3 above. In this case the bed will be dose loaded from the AWTS Unit (FujiClean CE4200) and distribution within the bed will be achieved by matching pump rates to dripper capacity.

The irrigation beds shall have 150mm to 250mm of in-situ or imported good quality topsoil to slow the soakage rate and assist with nutrient reduction. The top soil has to be able to support the growth of evergreen vegetation to maximize evapotranspiration. If the area is planted with shrubs then a combination of imported topsoil and mulch around shrubs is acceptable however drippers must not be left exposed.

The use of "manufactured" topsoil consisting of mulch, rotted mulch, compost or any combination of these materials is not considered suitable as cover for the drippers that are located in grassed or lawn areas. As mentioned above some mulch may be used if the area is planted with shrubs.

The drip irrigation area shall: -

- Not be used for other purposes that compromise the effectiveness of the system or access for future maintenance.
- Be only used for effluent disposal application
- Have the boundaries marked or delineated by appropriate vegetation or other type of border
- Have no runoff or seepage of effluent beyond the designated irrigation zone area.

Drip irrigation areas must be 1.5 metres clear of the property side boundaries and the up gradient western boundary. Additionally, the drip beds must be at least 4.5 metres higher "up-slope" from any building or foundations.

Several manufacturers produce pipes suitable for drip irrigation however the selected pipe material must have features that reduces or be designed to withstand or reduce the risk of root penetration into the lines. The length of line and the number of zones may be varied to suit the manufacturers requirements and design recommendations particularly in relation to slope, head loss in the product and variations in effluent emitter spacing. Manufacturer installation guidelines for the product selected must be followed.

Surface Water Flow Diversion

The irrigation zones will require a shallow surface flow cut-off swale drain. It is important that this diversion drain be maintained to allow water to flow from it unimpeded. The dimensions below are a guide however may be varied to make maintenance as practical as possible more often through being mowed as part of normal property or yard upkeep.

On this site the swale drain will direct surface water to the down slope side of the infiltration / drip irrigation bed area. The Line of the swale drain will be along the rear or southern boundary line at the highest end of the site.

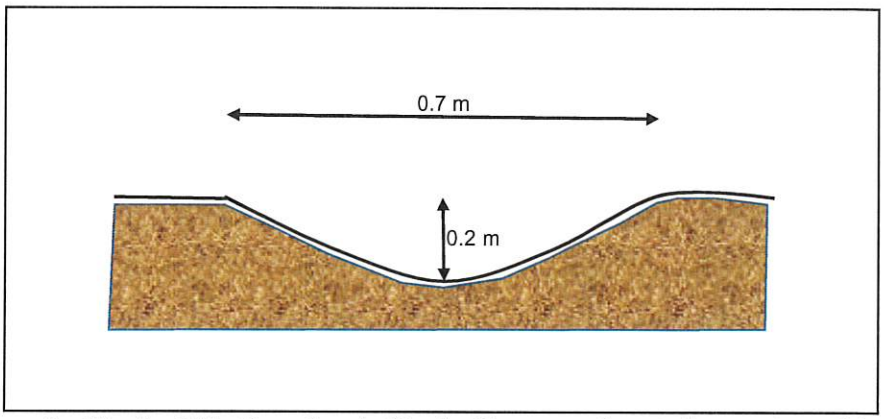


Figure 4 – Typical Shallow Swale Drain Cross-section to be used on this Site

Boundary Clearance Requirements

The portion of the site upon which the infiltration beds will be constructed has a 2° to 2.5° fall to the north. The area in which the irrigation zones will be constructed is about 15 metres to 25 metres west of the dwelling. The required boundary and structure clearances are: -

- Proposed Building to irrigation zone min 4.5 metres
- Proposed Building to Septic tank min 3 metres
- Irrigation beds to site northern boundary is about 10.5 metres (Down Slope)
- Irrigation beds to site eastern boundary approx. 1.5 metres (Level with)
- Irrigation beds to site western boundary approx. 1.5 metres (Level with)
- Irrigation beds to site southern boundary approx. 1.5 metres (Upslope)

Soil Erosion

Swale drains across the slope that will be needed to intercept down slope surface water flow and will also assist in reducing the risk of rill erosion on the slope.

We recommend care be taken in any event to limit erosion generating conditions on site that may lead to increased risk of any soil erosion.

Similarly, the creation of ponding areas must be avoided to reduce the risk of landslide formation.

DESIGN SUMMARY and LOADING CERTIFICATE
For Cabins and Dwelling

1. Soil Type	Category 4 Soil
2. DIR adopted	3.5
3. Soil Assessment	Site observation and infiltration rate estimates.
4. Water Supply	Reticulated
5. Development	Two Cabins and dwelling totaling 9 bedrooms
6. Assumed peak load	Up to 15 persons
7. Basis for Design	Nine (9) bedrooms and up to fifteen (15) persons
8. Site Slope	Approx. 1 in 5.8 (Planar Slope) approx. 8.5° towards the north.
9. Loading Used in Design	1440 Litres per day AT 80% OCCUPANCY
10. Treatment System	Fuji Clean CE4200 PLUS 2000 litre effluent transfer pit with pump.
11. Infiltration Zone size	**3 Drip Irrigation zones totaling** 420 square metres
12. Infiltration Zone Design	As per section detail **Figure 3 & 5** above
13. Effluent Distribution	Drip Irrigation Beds each between 175 and 110 m^2 dose loaded
14. Surface drainage Protection	Swale drain required above each bed area.
15. System Failure alarms	Required and supplied as part of the Fuji Clean unit plus high level / failure alarms in effluent transfer tank.
16. Remote Alarm Monitoring	If the site manager is "off-site" then dialing / telemetry alarm monitoring will be required.
17. Overloading or Failure Risk	NO Room to increase or replace irrigation zones on this site. Beds would require replacement under bed isolation conditions.
18. Additional Area	Limited room
19. Failure Impact /indication	Ponding or development of wet areas.
20. Additional Area	Beds would require replacement under bed isolation conditions.

21. Efficient Water Use	To minimize water use and reduce the loading on the mound system Water Saving devices should be fitted such as flow restrictors in showers or other certified water saving devices and appliances.
22. Peak Loading	The On-site Wastewater Management System has been designed within the parameters of AS1547: 2012. The peak loading is 1440 Litres per Day.
23. Load Change Risk	The system is designed on 16 occupants on site or 80% occupancy whichever is the lowest. The Fuji Clean treatment unit has a 21-person equivalent thus should be able to produce good quality effluent in peak load situations for short periods as above. The actual Irrigation Zone size will be a limiting factor in this installation.
24. Under Loading	May generate some odour as load is increased after low load periods
25. Low use or "off" Periods	May generate some odour for a short period when load increases or operation recommences.

NOTE:

This report is applicable to only the site the testing has been undertaken upon.

In reaching the design recommendations we have assumed an occupancy level based on up to five site users and in doing so assumed the flow rates will be similar to a three-bedroom dwelling. This data has been assessed according to tabled guidelines in AS/NZS 1547: 2012. If a change to the use level takes place then it may become necessary to reassess the recommendations and possibly increase the disposal area.

With AWTS systems, it is recommended that the unit be monitored and maintained on a quarterly basis as required by Council. They will require regular cleaning to maintain their performance and reduce the risk of solid material entering the disposal field.

Testing and recommendations prepared by: -

Warren Newell
NZCE(Civil); NZCSc(Water Tech); MAppSc (UNSW);
FIEAust; CPEng(Aus); NER; APECEngineer; Int PE(Aus);
Accreditation Under Building Act 2016 "**CC4035R"**
Principal / Director

Dated: 08 January 2019
Issue 1

EAW Geo Services

BOREHOLE No BH 1
TYPICAL BORE PROFILE for this SITE

Client: Chris Café
Project: 3 Hill Street, Derby
Co-ords: (Approx) S
E

Drill Type: Hand Auger Fluid: Not Used Date Drilled: 30-Aug-18
Bearing: Dip:
R.L: approx 180 m AHD

Drilling Method: Rotary Auger
Logged by: WN
Date: 30-Aug-18

Water	Monitoring Well Details	Depth (mm)	Graphic Log	Material Description	Soil: V Sel/V Loose	Soil: Soft/Loose	Soil: Firm/M Dense	Soil: Stiff/Dense	Soil: V Stiff/V Dense	Rock: E Weak (Hard)	Rock: V Weak	Rock: Weak	Rock: M Strong	Rock: Strong	Rock: V Strong	Rock: E Strong	Weathering	Remarks
		500		**SILTY CLAY : -** Firm dark brown silty clay with some angular boulders to 200mm. Moist.			■											
		1000		**SILTY CLAY : -** Firm to Stiff brown silty clay with medium to large angular boulders and some gravel.				■										
		1500		**SANDSTONE : -** Slightly weathered fractured angular sandstone boulders. Some silty clay in joints and bedding fractures. Moist.				■										
		2000		**REFUSAL 1.0 MTR ON TOP OF WEATHERED SANDSTONE**														
		2500																
		3000																
		3500																
		4000																

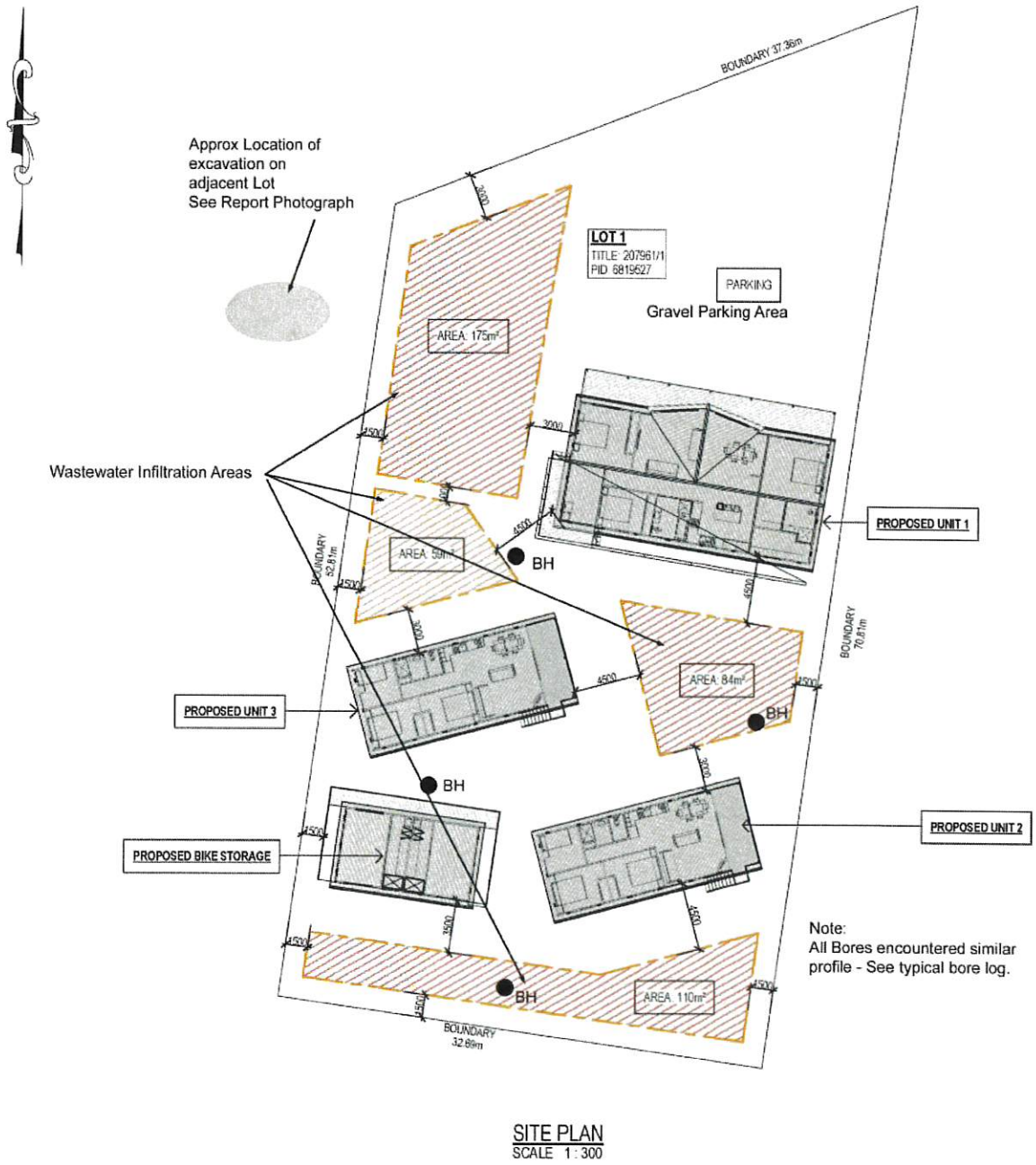


Figure 6 – Site Plan of Lot with Test Bore Locations

Note in the above "typical" bores, the soil profile was generally less than 0.6m deep before the fractured boulders were likely to impact on vertical infiltration rates. Therefore, it is important that drip irrigation methods of effluent disposal be used.

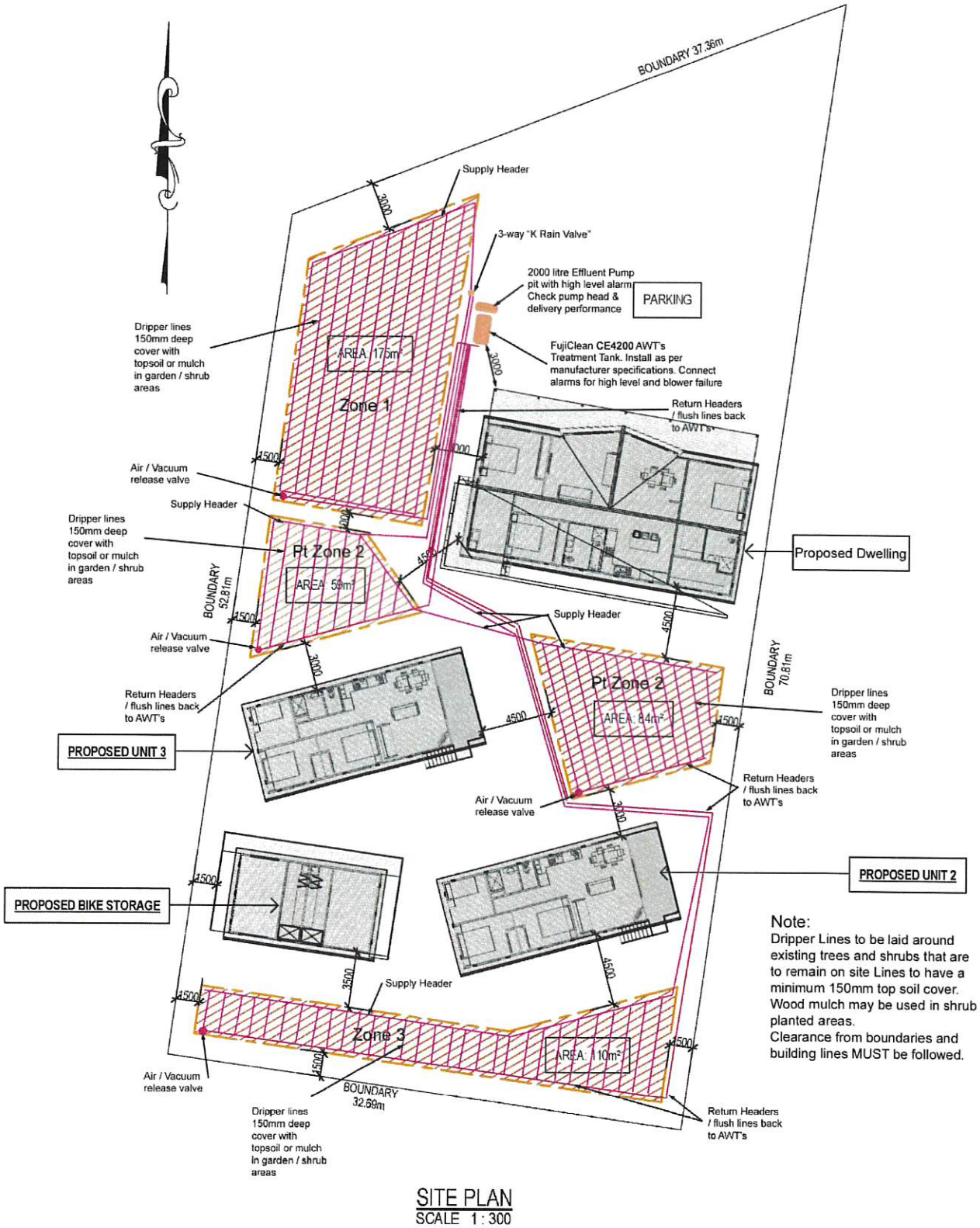


Figure 6 – Site Plan of Lot with System Layout

System Clearances for Compliance with *Building Act 2016 Guidelines for On-site Wastewater Disposal*.

Acceptable Solutions	Performance Criteria	Compliance
A1 Horizontal Separation distance from a building to a land application area must comply with one of the following: a) Be no less than 6 metres; b) Be no less than: i. 3 m from an upslope or level building; ii. If Primary treated effluent to be no less than 4m plus 1m for every degree of average gradient from a down slope building; iii. If Secondary treated effluent and sub-surface application, no less than 2m plus 0.25m for every degree of average gradient from a downslope building.	P1 The land application area is located so that the risk of wastewater reducing the bearing capacity of a buildings foundations is acceptably low.	Complies with A1 (a) & (b) (iii) Land application area will be located with a minimum separation distance of 4.5m from a downslope dwelling or building.
A2 Horizontal separation distance from downslope surface water to a land application area must comply with (a) or (b) a) Be no less than 100m; or b) Be no less than the following: i. If Primary treated effluent 15m plus 7m for every degree of average gradient to downslope surface water; or ii. If Secondary treated effluent and subsurface application, 15m plus 2m for every degree of average gradient to downslope surface water.	P2 Horizontal separation distance from downslope surface water to a land application area must comply with the following: a) Setbacks must be consistent with AS/NZS 1547 Appendix R; A risk assessment in accordance with Appendix A of AS/NZS 1547 has been completed that demonstrates that the risk is acceptable.	Complies with A2 (a) Land application area located 75m from downslope surface water. Average land slope across irrigation area and to water body is 9.2 degrees. For calculation purposes has been taken as 9 degrees. Required separation is 33 metres

Acceptable Solutions	Performance Criteria	Compliance
A3 Horizontal separation distance from a property boundary to a land application area must comply with either of the following; a) Be no less than 40m from a property boundary; OR b) Be no less than; i. 1.5m from an upslope or level property boundary; and ii. If Primary treated effluent 2m for every degree of average gradient from a downslope property boundary; or iii. If Secondary treated effluent and subsurface application, 1.5m plus 1m for every degree of average gradient from a downslope property boundary.	P3 Horizontal separation distance from a property boundary to a land application area must comply with all of the following. a) Setback must be consistent with AS/NZS 1547 Appendix R; and b) A risk assessment in accordance with Appendix A of AS/NZS 1547 has been completed that demonstrates that the risk is acceptable.	Complies with A3 (b) (i) & (iii) Land application area will be located with a minimum separation distance of 1.5m from the upslope and level property side boundary Irrigation area to be a minimum of 10.5m from downslope boundary
A4 Horizontal separation distance from a downslope bore, well or similar water supply to a land application area must not be less than 50m and not be within the zone of influence of the bore whether up or down gradient.	P4 Horizontal separation distance from a downslope bore, well or similar water supply to a land application area must comply with all of the following; a) Setback must be consistent with AS/NZS 1547 Appendix R; and b) A risk assessment completed in accordance with Appendix A of AS/NZS 1547 demonstrates that the risk is acceptable.	Complies with A4 No known bore or well within 50m

Acceptable Solutions	Performance Criteria	Compliance
A5 Vertical Separation distance between groundwater and a land application area must be no less than: a) 1.5m if Primary Treated effluent; OR b) 0.5m if Secondary Treated effluent	P5 Vertical separation distance between groundwater and a land application area must comply with the following: a) Setback must be consistent with AS/NZS 1547 Appendix R; and b) A risk assessment completed in accordance with Appendix A of AS/NZS 1547 that demonstrates that the risk is acceptable.	Complies with A5 (b) Groundwater not encountered or considered close to the surface based on the geological and hydrogeological assessment of the site.
A6 Vertical separation distance between a limiting layer and a land application area must be not less than; a) 1.5 m if Primary Treated effluent; OR b) 0.5m if Secondary Treated effluent	P6 Vertical setback must be consistent with AS/NZS 1547 Appendix R	Complies with A6 (b) Dripper lines will be approximately 0.5m above fractured rock horizon.
A7 nil	P7 A wastewater treatment unit must be located a sufficient distance from buildings or neighbouring properties so that emissions (odour, noise or aerosols) from the unit do not create an environmental nuisance to the residents of those properties.	Complies

ORIGINAL – NOT TO BE REMOVED FROM TITLES OFFICE

R.P. 1470

TASMANIA

REAL PROPERTY ACT, 1862, as amended

CERTIFICATE OF TITLE

Register Book
Vol. 2388 Fol. 63

I certify that the person described in the First Schedule is the registered proprietor of an estate in fee simple in the land within described together with such interests and subject to such encumbrances and interests as are shown in the Second Schedule. In witness whereof I have hereunto signed my name and affixed my seal.

Recorder of Titles.

RECORDER OF TITLES TASMANIA

DESCRIPTION OF LAND

TOWN OF DERBY
TWO ROODS on the Plan hereon

FIRST SCHEDULE (continued overleaf)

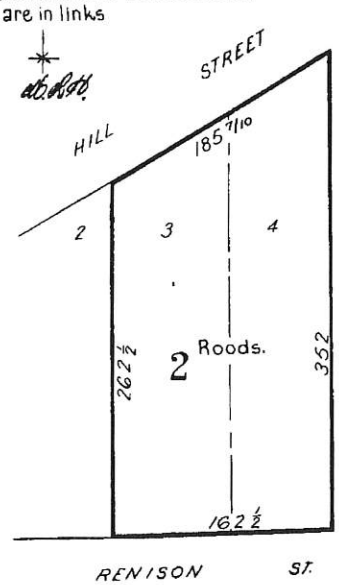
DONALD ALLEN TROTT of Derby, P.M.G. Technician, and

FRANCIS WINIFRED TROTT , his wife

SECOND SCHEDULE (continued overleaf)

NIL

Lot 3 Sec. C. Gtd. to V. D. Johnson
Lot 4 Sec. C. Gtd. to W. A. Johnson
Meas. are in links



CANCELLED
-5 JAN 1995
RECORDER OF TITLES
NEW TITLE ISSUED

REGISTERED NUMBER 207961

Lot 1 of this plan consists of all the land comprised in the above-mentioned cancelled folio of the Register.

THE RECORDER OF TITLES ARE NO LONGER SUBSISTING.

FIRST Edition. Registered 27 AUG 1968
Derived from C.T.Vol.731 Fol.70. Transfer A295919- D.J.Ranson & ors.

RESULT OF SEARCH

RECORDER OF TITLES

Issued Pursuant to the Land Titles Act 1980

Tasmanian Government

SEARCH OF TORRENS TITLE

VOLUME	FOLIO
207961	1
EDITION	DATE OF ISSUE
6	24-Sep-2018

SEARCH DATE : 21-Nov-2018
SEARCH TIME : 10.01 AM

DESCRIPTION OF LAND

Town of DERBY
Lot 1 on Plan 207961
Derivation : Lot 3 Sec C Gtd to V D Johnson Lot 4 Sec C Gtd to W A Johnson
Prior CT 2388/63

SCHEDULE 1

M717320 TRANSFER to DERBY HILL PTY LTD Registered 24-Sep-2018 at noon

SCHEDULE 2

Reservations and conditions in the Crown Grant if any

UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations

dorset
3 Ellenor Street SCOTTSDALE TAS 7260 P 03 6352 6500
E dorset@dorset.tas.gov.au W www.dorset.tas.gov.au

NOTICE OF PLANNING APPLICATION

LAND USE PLANNING & APPROVALS ACT 1993

In accordance with *Section 57 (3)* of the *Land Use Planning & Approvals Act 1993* notice is hereby given that the following application has been received:

DA No:	**2019/28**
PROPOSAL:	**VISITOR ACCOMMODATION (3 UNITS)**
APPLICANT:	**MS L TRIMMER**
LOCATION:	**3 HILL STREET DERBY**

The application and associated plans and documents will be available for inspection at the Council Offices, 3 Ellenor Street, Scottsdale during normal office hours for a period of 14 days ending on 03/04/2019**.**

Further, in accordance with *Section 57 (3)* of the *Land Use Planning & Approvals Act 1993* any persons may make representations relating to the application during the 14 day period which was advertised in The Examiner newspaper (Local Government Notices) on 20/03/2019**.** Representations must be addressed to the General Manager, Dorset Council, PO Box 21, Scottsdale 7260.

If you have any queries could you please contact the Dorset Council on **03 6352 6500** during normal office hours.

Tim Watson
GENERAL MANAGER

Attention: Mr Tim Watson

Dear Tim,

I write in response to the formal representation made by Mr Allan Miller re DA 28/2019 ,3 Hill St Derby.

It is not my intention to discredit Mr Millers concerns rather than to find an amicable solution to both parties so I will address each of his concerns –

Density

The current application has a total of 272m2 of living space and 44m2 of bicycle storage space. This equates to 16% of total 2002m2 of the block. This does not seem to be an overdevelopment of the site based on precedence set with other developments approved in the area.

The proposal has been developed with a longer-term view of the larger dwelling on the North of the site being a future residence with a going concern of two cabins to the rear of the property. This proposal gives a far more sustainable proposition than just visitor accommodation alone. It also offers the opportunity for Long term rent accommodation for a family that may move to the area for employment this type of accommodation is in short Supply in Derby. I do dispute that 140m2 is a large house? There are several examples of these size dwellings already in Derby.

Our research shows there is currently a lack of accommodation to cater for groups of 12 or more in Derby and surrounding areas.

Architectural Expression

There are several examples of similar type of construction currently and already approved in Derby. We have taken into consideration some of Mr Millers comments and changed the cladding on the Cabins to a softer Hardies Axon cladding that can be painted to blend in more with the surroundings. We don't believe the height to be an issue and raising the dwellings to avoid excessive cut and fill seems a far more environmentally friendly solution as is common in Derby. Most of the current buildings in Derby and surrounding areas are either an FC or Timber clad with Corrugated iron or Colourbond steel. All these materials have been incorporated into the dwellings. The Cabins have been orientated to give a less obtrusive look from Renison St and a northerly aspect to the living Areas for better solar efficiency.

The cut required for the proposed dwelling of the North side of the block is minimal and there are several examples of this currently in Derby. The apparent height at the front is due to the existing cut on the site that accommodates parking for 4 vehicles , it is our intention not take the slates on the subfloor all the way to ground level as the balcony will provide some cover for the cars parked under . All this area will retain its current landscaping of tree ferns and we will indeed plant more to cover the current exposed cut.

2 main St currently is only 960m2. I am unaware of the size of the crown land which they have applied to purchase.

Boundary Set backs

I can't comment on this

Construction and Impact noise

The dwellings are all constructed off site at Tasbuilt Homes in Launceston and are transported by road and lifted into position with cranes, this will guarantee a start and completion time with very minimal impact on the surrounding neighbours. Tas built have a track record of building a quality product on time and to a high Standard at their facility in Launceston, these can be viewed at any time.

The only site works required will be

1. Minimal clearing and excavation of the site
2. Boring and poring of concrete for footings
3. Placement of steel posts to accept the completed dwellings
4. Placement of the dwellings on site
5. Minor works to complete the installation (roof flashings, internal plastering)
6. Connection of power to dwellings
7. Construction of the decks, installation of handrails, install sub floor skirting.
8. Installation of drainage and septic sewer system
9. Landscaping and pathways.

The total time onsite from Start to finish would be no longer than 8 weeks far less than required if they were stick built insitu construction.

All parking is onsite off Hill St, there will be minimal disruption to the surrounding neighbourhood once the dwellings are completed. The orientation of the dwellings provides a natural noise barrier particularly to Renison St from the planned outdoor dinning and seating area.

Landscape

All Current large tress on the site will remain. We have been approached by the owners of 5 Hill St to remove one of the large pine trees that borders our properties. We are happy for these to remain as they add to the site and provide plenty of natural shade and outdoor leisure areas.

All outdoor dinning and relaxing areas will be with in the natural courtyard provided by the dwellings.

It is our intention to add to the current landscaping not remove it, particularly the terraced gardens on the north east side of the property and we are proposing to providing a full height native hedge on the South Boundary of Renison St to provide a natural screen.

The Derby Townscape

I completely agree with Mr Millers Statement dwellings should be "pitched roof, mostly timber framed buildings often sited in lush gardens' I believe there is currently a lack of this in Derby . What we are proposing on this site is sympathetic to the current large vegetation on the site which will all

be retained; we will be adding to it to create a lush garden. We are constructing the dwellings of material commonly used in many dwelling new and old in Derby with similar profiles. This development affords the opportunity for a family to live in Derby and run a small business of accommodation in the future. I believe in the future of Derby and this investment is not taken lightly. I agree that the town needs to retain its charm and character and I don't believe that the development we are proposing will damage this in any way. We anticipate that this type of accommodation will be more appealing to families to visit the town and stay for extended holidays I believe it's what the town needs for many years of prosperity and repeat visitors.

I will accept whatever councils' decision is however I do believe that most of Mr Millers fears will be laid to rest once the development is complete and has minimal impact on his current standard of living due to all of what I have listed above.

Regards,

Chris Café

89 Toolijooa Road

Toolijooa NSW 2534

0458 008 776